



Case # BZA-01-26-00935

Charleston County BZA Meeting of March 2, 2026

Applicant/Property Owner:	Sean McDonnell of SFG Hoopstick Island LLC
Representative:	Navada Waterman of Seamon Whiteside
Property Location:	2058 Bohicket Road – Johns Island
TMS#:	277-00-00-049
Zoning District:	Planned Development (Hoopstick Island PD-134) Zoning District

Request:

Variance request to replace and relocate an existing gate located within the required 50-foot Critical Line buffer at the entrance to the Hoopstick Island Planned Development.

Requirement:

The Charleston County Zoning and Land Development Regulations Ordinance (ZLDR), Chapter 4 Base Zoning Districts, Article 4.25 PD, Planned Development Zoning District, Sec. 4.25.10 Variances and Other Modifications to Approved PD Development Plans, C. Variances states, *“Upon adoption of this Ordinance, the provisions of Article 3.10 of the ZLDR, relating to Variances, shall apply to all approved PD Development Plans with respect to zoning-related, dimensional, design, or performance standards on individual Lots. Variance applications for Trees, Setbacks, Buffers, height, and maximum Impervious Surface/Building Coverage on individual Lots shall be processed pursuant to Article 3.10, Zoning Variances, of this Ordinance and all requirements of Art. 3.10, Zoning Variances, shall apply. All other proposed modifications, except minor modifications as described above, require an amendment to the PD Planned Development Plan, in accordance with the procedure specified in this Article.”*

Hoopstick Island Planned Development (PD-134), II. Land Uses and Development Criteria, C. Development Requirements/Lot Standards requires a minimum 50' Critical Line buffer.



CHAPTER 4 | BASE ZONING DISTRICTS

ARTICLE 4.25 PD, PLANNED DEVELOPMENT ZONING DISTRICT

Sec. 4.25.10 Variances and Other Modifications to Approved PD Development Plans

The Zoning and Planning Director shall determine whether a proposed modification affecting one or more Parcels in a previously approved PD Development Plan is considered a minor or major modification, or requires a Variance, pursuant to the criteria in this section. Modifications of approved PD Development Plans are categorized as major or minor depending on the type and extent of proposed changes, as described below:

A. Minor Modifications.

1. Increase in Common Open Space area;
2. Decrease in residential Density or number of Dwelling Units;
3. Increase in Setbacks;
4. Increase in the area, dimensions, and/or Density of Landscape Buffers;
5. Decrease in Building Floor Area;
6. Decrease in the number or size of Signs;
7. Minor shifts in the layout of the land uses in the Sketch Plan; and
8. Minor shifts in the location of access points or internal Roadways necessary to resolve regulatory (e.g., SCDOT) permitting issues.

The Zoning and Planning Director is authorized to approve minor modifications to an approved PD Development Plan.

B. Major Modifications.

1. Any modification not considered “minor” pursuant to paragraph A, above, is considered a major modification.
2. Major modifications require an amendment to the PD Development Plan, in accordance with the procedure specified in this Article.
3. Any PD Amendment must comply with all requirements of this Article.

C. Variances.

1. Upon adoption of this Ordinance, the provisions of Article 3.10 of the ZLDR, relating to Variances, shall apply to all approved PD Development Plans with respect to zoning-related dimensional, design, or performance standards on individual Lots. Variance applications for Trees, Setbacks, Buffers, height, and maximum Impervious Surface/Building Coverage on individual Lots shall be processed pursuant to Article 3.10, *Zoning Variances*, of this Ordinance and all requirements of Art. 3.10, *Zoning Variances*, shall apply. All other proposed modifications, except minor modifications as described above, require an amendment to the PD Development Plan, in accordance with the procedure specified in this Article.
2. The Director’s determination does not bind the Board of Zoning Appeals to a particular decision.

PD-134

3449-e

PLANNED DEVELOPMENT DISTRICT GUIDELINES

FOR

HOOPSTICK ISLAND

CHARLESTON COUNTY, SOUTH CAROLINA

November 10, 2008

AS APPROVED

APPLICANT:

Hoopstick Island Associates, LLC
400 Colony Square, Suite 1630
1201 Peachtree Street
Atlanta, GA 30361
(404) 832-8920

Prepared By:

Seamon, Whiteside & Associates, Inc.
501 Wando Park Blvd., Suite 200
Mt. Pleasant, SC 29464
(843) 884-1667

Project No. 4732.00

TABLE OF CONTENTS

I.	STATEMENT OF PURPOSE, INTENT, OBJECTIVES.....	1
II.	LAND USES AND DEVELOPMENT CRITERIA.....	2
	A. ACREAGES.....	2
	B. LAND USES.....	2
	C. DEVELOPMENT REQUIREMENTS/LOT STANDARDS.....	3
III.	PUBLIC FACILITIES IMPACT ANALYSIS.....	5
	A. WATER.....	5
	B. SEWER.....	5
	C. STREETS, ROADWAYS AND STORMWATER DRAINAGE.....	5
	D. POWER.....	7
IV.	DEVELOPMENT SCHEDULE AND PHASING.....	7
V.	OPEN SPACE / RECREATION.....	7
VI.	LANDSCAPE BUFFERS / LANDSCAPING SKETCH PLAN.....	7
VII.	WETLAND BUFFERS.....	8
VIII.	TRAFFIC.....	8
IX.	WATER QUALITY.....	8
X.	SIGNAGE/ LIGHTING/ PARKING.....	8
XI.	ARCHAEOLOGY.....	9
XII.	CHARLESTON COUNTY ZONING AND LAND DEVELOPMENT COMPLIANCE.....	9
	A. COMPREHENSIVE PLAN.....	9
	B. ARTICLE 3.10.....	10
XIII.	APPENDICES	
	A. TAX MAP	
	B. BOUNDARY PLAT	
	C. BOUNDARY AND WETLAND SURVEY, CORPS WETLAND DELINEATION LETTER	
	D. ILLUSTRATIVE PLAN	
	E. AERIAL/AERIAL SKETCH PLAN OVERLAY	
	F. SKETCH PLAN	
	G. UTILITY SKETCH PLAN	
	H. SCDOT PRELIMINARY REVIEW OF PROPOSED ENTRANCE	
	I. DOCK MASTER PLAN	
	J. CORPS OF ENGINEERS PERMIT	
	K. OCRM CRITICAL AREA PERMIT	

- L. ARCHITECTURAL GUIDELINES (PHOTOGRAPHS)
- M. ARCHAEOLOGICAL REPORT
- N. LETTERS OF COORDINATION
- O. PERMIT APPLICATION – RESTRICTIVE COVENANTS AFFIDAVIT
- P. APPLICABLE CHARLESTON COUNTY ORDINANCE SECTIONS
 - a) CHAPTER 4: BASE ZONING DISTRICTS
 - b) CHAPTER 6: USE REGULATIONS
 - c) CHAPTER 8: SUBDIVISION REGULATIONS
 - d) ARTICLE 9: DEVELOPMENT STANDARDS
 - e) EXHIBITS FOR CHAPTER 9
 - f) CHAPTER 10: NONCONFORMITIES

I. STATEMENT OF PURPOSE, INTENT, OBJECTIVES

Hoopstick Island, located in Charleston County, is a 143.34 acre tract of land surrounded by Hoopstick and Bohicket Creeks on Johns Island (represented in Appendix A by TMS Nos. 277-00-00-016, -017, -019, -020, and -049). Access to the property is provided by a 50' private Right of Way and causeway connecting the parcel to Bohicket Road. The site is a mixture of open meadow and wooded areas consisting primarily of live oak and pine with some remnants of pecan groves in certain areas (as illustrated in the Sketch Plan, Appendix F.) Historic use of the property consists of rural residential, farmland and open pasture.

It is the objective of Hoopstick Island Associates, by application for Planned Development District zoning in Charleston County, South Carolina, to guide development of the property in a manner which respects the land, preserves the rural character of the area, limits development, and provides for a high quality of life for its future residents.

Under current zoning (AG-8 and AGR), up to 13 single family lots could be developed on the island, eight of which could potentially be located on the 12.37 highland acres of AGR-zoned land. Through the implementation of Planned Development District zoning, however, this proposed development shall reduce the total maximum to just 10 single family lots as shown on the attached Sketch Plan (see Appendix F), reducing the density to just 1 dwelling per 5.49 highland acres. In doing so, a more appropriately scaled and ecologically sensitive plan is possible through the flexibility that PD zoning allows. By having the ability to create larger lots throughout the plan, the development better reflects the character of the Johns Island community, allows for a more environmentally sensitive layout and greatly reduces the physical and visual impact of homes along Bohicket Creek, where the proposed plan would effectively reduce the number of lots by half. Through the creation of a PD, the development can include a community center to be used by local public interest or governmental entities for meeting or event space. Additionally, 2.01 acres will be permanently preserved in open space for the general use of the residents on the island.

The property is designated as 'Agricultural Residential' and 'Agricultural Preservation' on the County Comprehensive Plan for Johns Island. As such, the proposed density is consistent with Objective LU1, Policy 2, pertaining to Land Development Regulations. Per the Density Guidelines, such a designation would permit one dwelling per acre and one dwelling per 8 acres.

Other objectives of the Comprehensive Plan that are addressed through this Planned Development include:

- a) *Promotes new development that will retain buffers along rural and urban waterways, retain natural open space, and reduce impervious surfaces (Objective WR4, Policy 1).*

A 50' buffer encircles the island, and roads within the development will be pervious;

- b) *Where new development is proposed in rural and agricultural areas outside of existing settlements, encourage site design that will maintain as much of the development site as possible in natural open space (Objective WR3, Policy 3);*

In addition to providing 2.01 highland acres of common open space, a 50' critical line buffer (7.45 ac) and 12.0 acres of building setbacks, Hoopstick allows a maximum building coverage per lot of just 10% of the buildable area.

- c) *Protects and enhances creek and river front lands, beaches, and access to beaches and waterways (Objective LU7, Policy 1).*

The 50' critical line buffer which encircles the island is supplemented with an additional 10' of non-buildable area.

A Property Owners Association (POA) as well as covenants and restrictions shall be organized and conform to Charleston County Road Codes and Zoning Ordinance Requirements. The POA shall maintain the private entry/access causeway, drives and common areas.

II. LAND USES AND DEVELOPMENT CRITERIA

A. ACREAGES

Total Acreage of Planned Development	143.34 acres
Highland Acreage	54.91 acres
Freshwater Wetland Acreage	0.38 acres
Marsh/Creek Acreage88.05 acres

B. LAND USES

The property will be limited to residential and community uses (including single family homes, temporary sales office/community meeting event facility) only, with each lot allowed one dock consistent with the Dock Master Plan as approved for 10 total single family docks by OCRM 10/16/03, (see Appendix I.) All docks will be located within corridors as shown on the approved Master Plan. If permitted the docks will be constructed within the parameters and special conditions placed by OCRM. The number of boats at each dock will be controlled by the OCRM permit.

The maximum coverage of a lot by structures shall be 10% of the buildable (non-buffer or wetland) area.

The maximum height of any structure shall be 35' (as currently stipulated in the AG-8 zoning classification), measured between the base flood elevation and: (1) the average height level between the eaves and ridge line of a gable, hip or gambrel

roof; (2) the highest point of a mansard roof; or (3) the highest point of the coping of a flat roof.

Primary residences on Hoopstick Island shall be carefully sited within the designated building envelopes to take advantage of water views, work around significant hardwood trees, and to afford the homeowner privacy while respecting the natural environment and character of the site. Existing structures indicated to remain on Lots 6 and 10 shall be considered accessory structures to these lots and not counted towards the overall project density.

Residences and accessory structures such as storage sheds, garages and poolhouses shall maintain the general character and style of similar raised homes in this area of Johns Island (see Appendix L for examples of architectural style and Chapter 6.5 of the County Zoning Code regarding Accessory Structures, found in Appendix P.) All fences and walls shall meet all applicable building and zoning codes.

Home occupations are permissible within the development, provided that all regulations and standards included herein are met. Allowed accessory uses within Hoopstick Island can be found within Chapter 6.5 of Charleston County Zoning (see Appendix P.)

The existing structure located at the Bohicket Road entrance shall be utilized as a temporary sales office until all 10 lots are sold, and shall not be counted towards the project density. Upon completion of sales, the building shall become a community center for local civic groups to hold meetings, events or classes. This building shall not be increased in size, but will require renovation to the entry to allow for handicapped access. Prior to the issuance any Certificate of Occupancy, this building shall be brought up to current applicable building code requirements. Site improvements, including a turn-around loop with 4 paved and 5 unstructured parking spaces (parked at 1 space/150 sf) and any required landscaping must receive Site Plan Review approval from the County Planning Department prior to issuance of a building permit. Site Plan Review is additionally required prior to transfer of use to a community center. Overflow parking will be allowed on the open lawn area as indicated on the Sketch Plan (see Appendix D), with buffers protected from encroachment with a 4' height picket fence. Exterior lighting will be provided on the building. Any additional lighting desired in this area must be designed in accordance with the standards set forth in Article 9.6 of the Zoning Ordinance (See Appendix O.) All lighting will conform to the covenants and restrictions for the property.

Open space areas shall include passive and recreation opportunities to include gardens, pathways, and seating opportunities along the marsh edge.

C. DEVELOPMENT REQUIREMENTS/ LOT STANDARDS

All lots must conform to dimensional, density, and zoning requirements as found in the chart below (The following Waterfront Development Standards dimensions have precedence over Base Zoning District standards for subdivision on properties which

about an OCRM Critical Line):

Standard [1]	AG-8
Min. Lot Area	1 Ac
Min. Lot Width (ft)	175
Min Lot Width Average (ft)	200
Max. Building Height (ft)	35
Minimum Buffers/Setbacks (ft)	
OCRM Critical Line Buffer (ft)	50
Bohicket Road – Roadside Buffer	75
Building Setback from OCRM Critical Line (ft)	60
Front Yard Setback	100
Side Yard Setback	50
Side Yard Setback (Corner Lot – Street Side)	100

Although a minimum 35' Critical Line buffer is required, a 50' buffer has been provided for this development. Additionally, the building setback from the Critical Line has been set at 60' to prevent construction and overhang disturbance of the buffer. The development will meet all County National Pollution Discharge Elimination System (NPDES) stormwater requirements.

A tree survey of the site indicates 169 historic trees of 24" or greater, and 38 pines measuring 24" and greater. Other tree species found on the site include live oak, gum and pecan. Of these trees, one pine is expected to require removal for construction of the roadway. Trees located within each lot may only be removed upon meeting the requirements of Section 9.4.5 of the County Zoning Ordinance as determined by the Planning Director or as approved by the Board of Zoning Appeals. Additionally, a permit from Charleston County is required prior to clearing and grubbing on the site.

Existing homes and structures that currently exist on the property and are indicated on the Sketch Plan to remain in their present locations and sizes (see Appendix F) shall be allowed to remain in their present locations. Any additions made to these structures shall not occur within the aforementioned setbacks and

buffers. All new or rebuilt structures shall conform to all current zoning and building code requirements.

All applicable Charleston County Zoning requirements for AG-8 Agricultural Preservation District not specifically modified through these Planned Development Guidelines shall apply to this development. Additionally, as outlined in Section 4.27.6H of the Zoning Ordinance, all areas designated for future expansion or not intended for immediate improvement or development shall remain in a natural state until such time as development permits are approved. Other requirements include:

The pertinent sections of the Charleston County Ordinance which apply to this development are included as follows and can be found in Appendix I.

1. Chapters 4, 8 and 10
2. Article 9.3 Off-street Parking and Loading
3. Article 9.4 Tree Protection and Preservation
4. Article 9.5 Landscaping, Screening and Buffers
5. Article 9.6 Architectural and Landscape Design Standards
6. Article 9.11 Signs
7. Article 9.12 Drainage Design

III. PUBLIC FACILITIES IMPACT ANALYSIS

A. WATER

An 8" main will need to be installed in order to provide adequate fire protection to the proposed homes. This new line will be extended at the Developer's expense from an existing 18" main located along Bohicket Road. This would be an upgrade from the existing 2" line currently located on the property (See Appendix G for Utility Sketch Plan).

B. SEWER

Each lot will be served by a septic tank/drain field system consistent with applicable standards. No public sewer services will be required.

C. STREETS, ROADWAYS AND STORMWATER DRAINAGE

The private internal roadway for Hoopstick has been planned to work around significant trees found on the site. Only one significant pine tree will be affected by the internal roadway.

No hard drainage improvements are planned for the roadway or causeway, with the bulk of surface drainage to be absorbed into the sand/shell roadbed. In areas of the causeway, this drainage will additionally filter through the soil and shoulder vegetation (planted saltwater tolerant turfgrass) before entering the marsh.

St. Johns Fire Department was consulted early on in the design phase of the project to ensure adequate emergency access is available to the island. Improvements for the causeway necessary to meet these needs required an OCRM Critical Area Permit, which was applied for and approved (See Appendix K). Per the approved permit and plans, fill areas have been designed to minimize environmental impact. Roadway sections within the causeway shall be constructed of pervious materials (likely sand/shell) with a minimum 12' width and 3' wide shoulders. As contemplated and authorized under this Permit, two 7' wide by-pass pull-offs, one on each half of the causeway, will be provided for fire equipment passage and other safety reasons. Additionally, guardrails may also be placed in areas along the causeway that are adjacent to deeper water. All utilities shall be located/relocated underground at the time of causeway improvements. Private roads which access the farthest lots on the island culminate at cul-de-sacs with large (50' diameter) planted islands.

All other roads within the development will be a minimum 14' in width and constructed of similar pervious materials for reduced environmental impact. All streets and drainage systems shall be private and maintained by the property owner's association (POA). An access gate with keypad entry will be located at the east end of the causeway, with emergency access allowed within a Knox box located at the gate. All emergency/safety improvements to Hoopstick Island Road must be completed before the first building permit may be issued for the development.

The location of the entry drive along Bohicket Road has been discussed at length with SCDOT, and has been determined to be sited in the most desirable location in terms of safety, while additionally working around existing historic trees. This location was also determined to be superior to aligning directly across from Plowground Road due to the possibility of future realignment of Plowground, reduced visibility, and that as only 10 lots are planned for Hoopstick, the offset drives would not be as problematic as would if it were a larger development.

Correspondence and diagrams relating to these discussions are included within this document (See Appendix H.) The construction of this entrance shall adhere to all tree protection, removal and replacement requirements as outlined in Article 9.4 of the County Zoning Ordinance (See Appendix O). As this future drive is to be located in much the same location as currently exists, no additional tree removal is expected due to the construction of Hoopstick Island's entrance. As there will only be one access to the development, the existing second entrance located just south of the aforementioned location, shall be closed to all future use. The gate and columns which emphasize this entrance will be relocated by SCDOT in coordination with the owner.

D. POWER

All existing and future power lines and utilities within the project will be relocated underground.

IV. DEVELOPMENT SCHEDULE AND PHASING

The project is anticipated to be developed in one phase. The schedule for the development will be dependent upon the completion of St. John's Water Company's transmission water line improvements, which is estimated for the end of 2008.

V. COMMON OPEN SPACE / RECREATION

The required common open space for the project is centrally located on the site and met in two areas located on either side of the entry road onto the island. These areas comprise a total of 2.01 acres of highland, and will include a garden of native plants with seating and viewing opportunities of the marsh as well as highlight the entrance onto Hoopstick Island. All residents will have access to these areas by way of the private road. This open space will be recorded with the Final Plat and will be conveyed to the homeowners association and will be permanently restricted to the aforementioned uses. Acreage for this use is as follows:

Open Space Acreage Breakdown

Total Acreage of Open Space	2.01 acres
Highland Acreage	2.01 acres
Marsh/Creek Acreage	none
Buffer Acreage (40% max allowed)	0.66 acres (32%)

Access to these designated areas shall occur along the 50' private rights of way that connect to all lots on the island.

Supplementing the open space area described above, each lot will additionally include 50 feet of critical line buffer, 100' frontyard and 50' sideyard building setbacks. The remaining buildable area allows a maximum building coverage per lot of just 10%. Of the 48.66 acres of highland located on the 10 residential lots, approximately 2.33 acres (or 5%) is available for structures.

VI. LANDSCAPE BUFFERS / LANDSCAPING SKETCH PLAN

A 75' landscape buffer is located along Bohicket Road. The existing structure located within this buffer shall remain with required plantings made elsewhere within the buffer zone. Given the numerous large trees located within the relocated right-of-way, it is requested that all additional required canopy tree plantings within the buffer be waived only if and until those in the right-of-way are removed, at which time the canopy tree requirement shall be met.

As allowed by ordinance, it is requested that the private roadway serving this project be exempted from landscaping, screening and buffering as the average lot size is 5.5 acres (minimum 4.38 acres), each with 100' front yard and 50' side and rear yard bufferyards and setbacks. These buffer areas, however, may only be cleared of vines, and must otherwise remain in their natural state. Hardwood trees larger than 18" may only be removed if dead or determined by a certified arborist to be in poor health.

VII. WETLAND BUFFERS

The project will adhere to the requirements of Article 4.26 Waterfront Development Standards for the AG-8 base zoning district. Buffers located along the critical line shall be a minimum of 50 feet, and setbacks shall be set at 60 feet (See Appendix F). The one area of freshwater wetlands is to remain undisturbed, requiring no additional buffer as is allowed by ordinance.

VIII. TRAFFIC

As the project contains only 10 lots, traffic impact to Bohicket Road is expected to be minimal. Long-term use for the community building, mainly as a meeting facility with only 9 parking spaces, is expected to create only minimal use during non-peak hours.

IX. WATER QUALITY

Water quality as it pertains to improvements to the existing causeway to the island is addressed in the Critical Area Permit issued to the project by DHEC/OCRM. These requirements include: Creation of 0.56 acres of intertidal marsh, establishment of a 50-foot vegetated buffer along the shoreline, appropriately planted vegetation along the causeway, measures taken to prevent pollutants from entering adjacent waters and wetlands, materials used in the construction of the causeway improvements be free of all potential sources of pollution, erosion control measures taken until areas are permanently stabilized, and the development of a spill prevention and clean up plan.

Further description of the Special Conditions required of this development, and which will be met, can be found in Appendix K of this document.

X. SIGNAGE/LIGHTING/PARKING

Low level lighting, with a maximum height of 42" will be placed in areas along the main drive, specifically along the causeway, and at the main entrance gate. Maximum average footcandles shall not exceed 5 foot candles from a concealed light source, with the maximum not to exceed 12 fc close to light sources, as set within the Charleston County Ordinance.

No project or sales center signage at the entryway is planned. An entry gate and keypad are located at the project entry prior to the causeway crossing, with a Knox box available for emergency access. Signage noting 'oncoming traffic' shall be posted at either end of causeway, as well as posted speed limit signage (10 mph.) Should signage for the community building be desired, it will consist only of minor directional

signage of no more than 10 square feet each side, with a height of no greater than 5 feet.

All signage, lighting, and parking shall conform to the requirements of the Charleston County Ordinance as found within the pertinent Articles within Appendix I.

XI. ARCHAEOLOGY

A Cultural Resources Survey was prepared by Brockington and Associates for Hoopstick Island. Conducted in 2003, the survey included a background review and the systematic excavation of shovel tests at 50 and 100 foot intervals across the upland portions of the tract. The survey was conducted in compliance with current state and federal regulations concerning the management of cultural resources. Brockington and Associates found two Isolates during the survey, but recommended they were not eligible for the National Register of Historic Places. According to the survey, "the Hoopstick Island tract does not warrant further consideration with regards to cultural resources."

The two Isolates were discovered on the southeastern portion of the island and the south central portion of the upland adjacent to Bohicket Road. The first Isolate consisted of six pieces of fragmented brick. The second Isolate near Bohicket Road consisted of one unidentifiable nail and one residual precontact ceramic sherd. "Despite intensive shovel testing at 50 foot intervals around these isolated finds, we recovered no additional cultural materials. We recommend Isolates one and two not eligible for the NRHP (see summary, page 3 of the Cultural Resources Survey.)

The Cultural Resources Survey also indicated that there was no evidence to support the presence of a cemetery or other 19th century domestic structures on the tract. No archeological sites were identified within the project tract, no buildings or structures greater than fifty years of age were identified, and no historic properties are present on the island. "The development of Hoopstick Island will not affect any significant cultural resources. Further management of the project tract with regard to cultural resources is not warranted." (see summary, page 3 of the Cultural Resources Survey).

A complete Study of Cultural and Environmental Resources is included as a part of this submittal (See Appendix M).

XII. CHARLESTON COUNTY ZONING AND LAND DEVELOPMENT COMPLIANCE

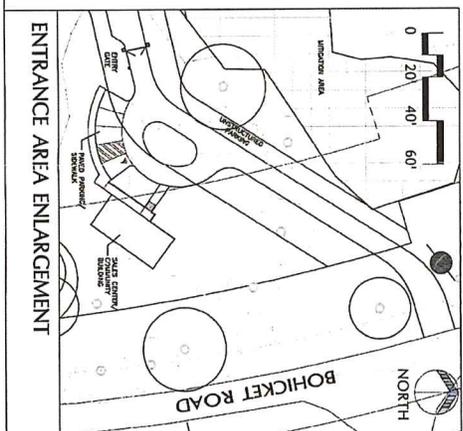
A. COMPREHENSIVE PLAN

With the exception of those stipulations specifically mentioned within this planned development text the project will adhere and comply with the applicable processes and requirements of the Charleston County Zoning and Land Development Regulations for the AG-8 District, and with such conditions as may be attached to any rezoning to the applicable PD district (See Appendix O for applicable Charleston County Ordinance Sections).

APPENDIX D: ILLUSTRATIVE PLAN



Note: Proposed structures shown on plan are illustrative purposes only. Final building and driveway locations shall be determined by requirements of the approved Planned Development Ordinance.



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/20/08	JAS	JAS
2	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
3	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
4	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
5	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
6	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
7	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
8	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
9	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS
10	REVISED PER PERMIT COMMENTS	09/10/08	JAS	JAS

HOOPSTICK ISLAND
 BRANCH PROPERTIES, LLC
 CHARLESTON COUNTY, SOUTH CAROLINA

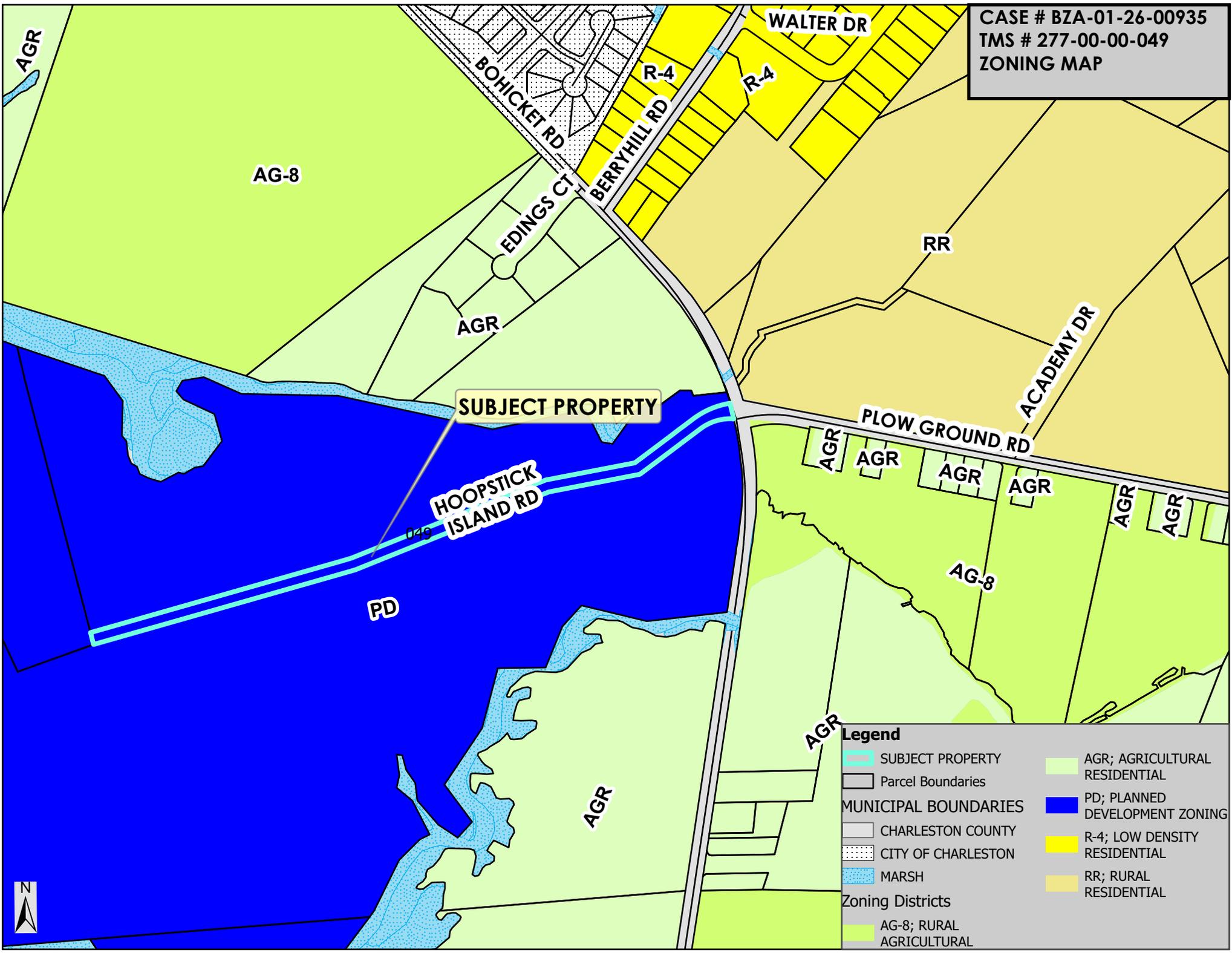


SEAMON, WHITESIDE & ASSOCIATES, INC
 Landscape Planning
 201 W. WOOD PARK BLVD. #202
 COLUMBIA, SC 29204
 803-732-1111
 www.seamonwhiteside.com

SEE ENLARGEMENT OF THIS AREA BELOW

APPENDIX F: SKETCH PLAN

CASE # BZA-01-26-00935
 TMS # 277-00-00-049
 ZONING MAP



SUBJECT PROPERTY

HOOPSTICK ISLAND RD
 049

AG-8

R-4

R-4

RR

AGR

PLOW.GROUND RD

ACADEMY DR

AGR

AGR

AGR

AGR

AGR

AGR

AG-8

PD

AGR

AGR

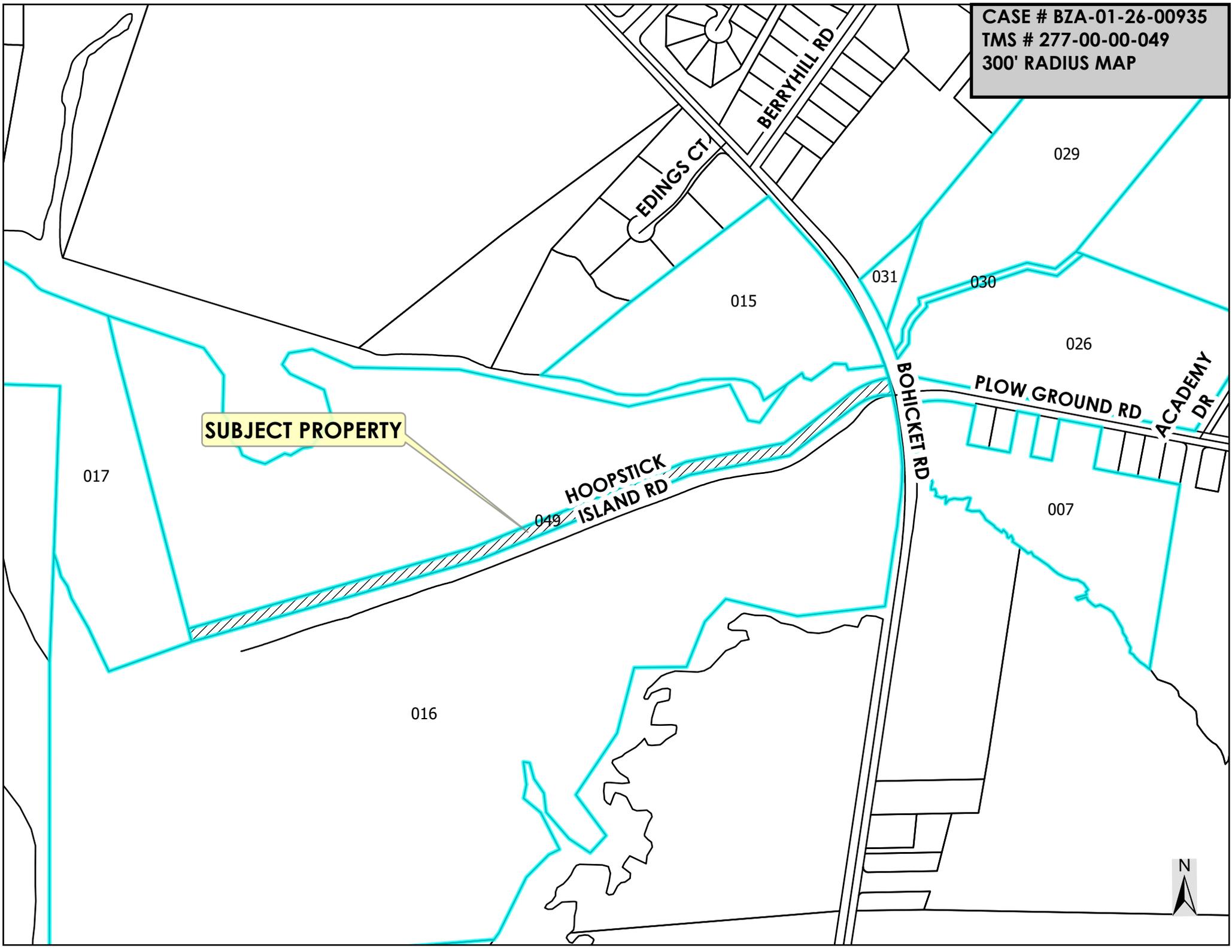
Legend

- SUBJECT PROPERTY
- Parcel Boundaries
- MUNICIPAL BOUNDARIES**
- CHARLESTON COUNTY
- CITY OF CHARLESTON
- MARSH
- AGR; AGRICULTURAL RESIDENTIAL
- PD; PLANNED DEVELOPMENT ZONING
- R-4; LOW DENSITY RESIDENTIAL
- RR; RURAL RESIDENTIAL
- Zoning Districts**
- AG-8; RURAL AGRICULTURAL



CASE # BZA-01-26-00935
TMS # 277-00-00-049
300' RADIUS MAP

SUBJECT PROPERTY

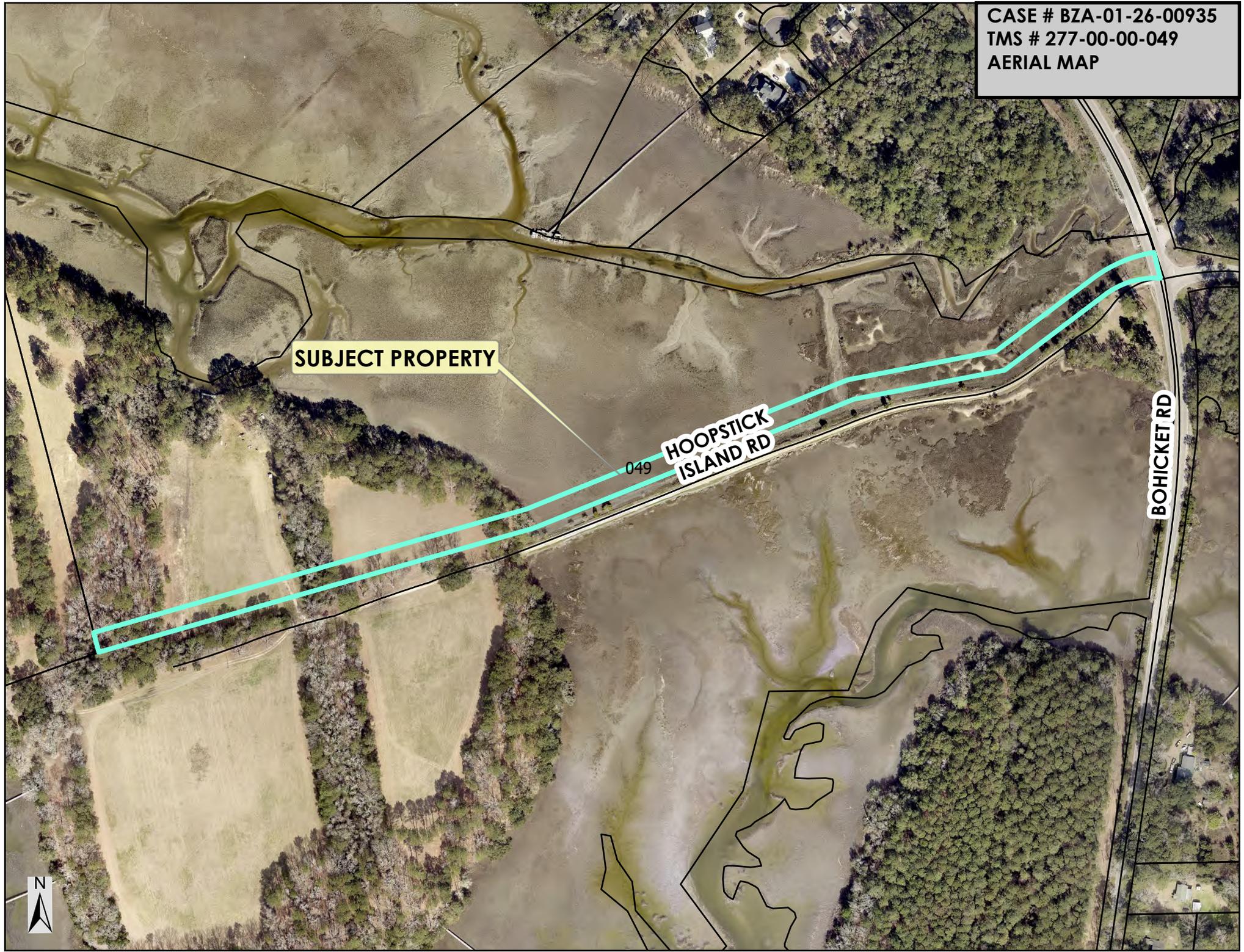


CASE # BZA-01-26-00935
TMS # 277-00-00-049
AERIAL MAP

SUBJECT PROPERTY

049 HOOPSTICK
ISLAND RD

BOHICKET RD



CASE # BZA-01-26-00935
TMS # 277-00-00-049
AERIAL MAP

SUBJECT PROPERTY

**HOOPSTICK
ISLAND RD**

049

**WALKERS
FERRY LN**

WINNSBORO DR

BERRYHILL RD

**ELAINE
ST**

WALTER DR

SHELL ISLAND TR

EDINGS CT

BOHICKET RD

ACADEMY DR

PLOW GROUND RD



Case # BZA-01-26-00935

BZA Meeting of March 2, 2026

Subject Property: 2058 Bohicket Road – Johns Island

Proposal: Variance request to replace and relocate an existing gate located within the required 50-foot Critical Line buffer at the entrance to the Hoopstick Island Planned Development.



Subject Property



Existing Gate



Bohicket Road



Staff Review:

The applicant and property owner, Sean McDonnell of SFG Hoopstick Island LLC, represented by Navada Waterman of Seamon Whiteside, is requesting a variance to replace and relocate an existing gate located with the required 50-foot Critical Line buffer at the entrance to the Hoopstick Island Planned Development at 2058 Bohicket Road (TMS # 277-00-00-049) on Johns Island in Charleston County. The subject property and adjacent parcels are located within the Planned Development (Hoopstick Island PD-134) Zoning District.

The applicant is currently in the site plan review process (ZSPR-07-25-01172) for the gate relocation. The applicant's letter of intent explains, *"We are requesting a variance to allow encroachment into the critical line buffer. The project proposes to remove and replace an existing gate at the entrance of the island. The existing gate is currently in the critical line buffer and would be replaced with an updated, mechanical entrance gate."* The Critical Line location was established by the South Carolina Department of Environmental Sciences (SCDES), Bureau of Coastal Management (BCM) formerly SCDHEC-OCRM).

Applicable ZLDR requirement:

The Charleston County Zoning and Land Development Regulations Ordinance (ZLDR), Chapter 4 Base Zoning Districts, Article 4.25 PD, Planned Development Zoning District, Sec. 4.25.10 Variances and Other Modifications to Approved PD Development Plans, C. Variances states, *"Upon adoption of this Ordinance, the provisions of Article 3.10 of the ZLDR, relating to Variances, shall apply to all approved PD Development Plans with respect to zoning-related, dimensional, design, or performance standards on individual Lots. Variance applications for Trees, Setbacks, Buffers, height, and maximum Impervious Surface/Building Coverage on individual Lots shall be processed pursuant to Article 3.10, Zoning Variances, of this Ordinance and all requirements of Art. 3.10, Zoning Variances, shall apply. All other proposed modifications, except minor modifications as described above, require an amendment to the PD Planned Development Plan, in accordance with the procedure specified in this Article."*

Hoopstick Island Planned Development (PD-134), II. Land Uses and Development Criteria, C. Development Requirements/Lot Standards requires a minimum 50' Critical Line buffer.

A site visit was conducted by staff on February 10, 2026. Additional information pertaining to this request is provided in the attached materials.

Planning Director Review and Report regarding Approval Criteria of §3.10.6:

§3.10.6(1): *There are extraordinary and exceptional conditions pertaining to the particular piece of property;*

Response: There may be extraordinary and exceptional conditions pertaining to the property because the existing island entrance drive and gate are already located within the Critical Line buffer, and the site's configuration provides no alternative location for a new gate outside the buffer. The applicant's letter of intent states, "*The existing island entrance drive and gate are currently in the critical line buffer. There is no other location for a new gate.*" Therefore, the request meets this criterion.

§3.10.6(2): *These conditions do not generally apply to other property in the vicinity;*
Response: **These conditions do not generally apply to other properties in the vicinity. The subject property is unique because it is an island with a single point of access through the existing entrance drive and gate, which are located within the Critical Line buffer. The applicant's letter of intent states, "*This condition is unique to the subject property. The property is an island and is only accessible through the existing drive and gate.*" Therefore, the request meets this criterion.**

§3.10.6(3): *Because of these conditions, the application of this Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property;*

Response: **The application of this Ordinance would unreasonably restrict the utilization of the property. The existing gate is outdated and secured only by a chain, lock, and key, which does not provide adequate security or emergency access. A new mechanical gate is necessary to ensure safe and efficient emergency vehicular access to the island, which is currently being developed to include up to ten (10) single-family parcels. The applicant's letter of intent states, "*Yes, the existing gate is old and secured by use of a chain, lock and key. A new, mechanical gate is necessary to provide emergency vehicular access to the island, which is currently being developed to include up to 10 separate single-family parcels.*" Therefore, the request meets this criterion.**

§3.10.6(4): *The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed by the granting of the variance;*

Response: **Authorization of this request may not be of substantial detriment to adjacent properties or to the public good. The proposed gate is located approximately 200 feet from Bohicket Road, minimizing visibility and potential impacts on surrounding properties. The applicant's letter of intent states, "*No, a new gate will have no impact to surrounding properties as the gate is setback approx. 200' from Bohicket Road. The aesthetic of the gate is in keeping with the existing character of the island.*" Based on this information, the character of the Planned Development (PD-134) Zoning District will not be harmed by granting the variance. Therefore, the request**

may meet this criterion.

§3.10.6(5): *The Board of Zoning Appeals shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land, or to change the zoning district boundaries shown on the official zoning map. The fact that property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance;*

Response: **The variance does not allow a use that is not permitted in this zoning district, nor does it extend physically a nonconforming use of land or change the zoning district boundaries. Therefore, the request meets this criterion.**

§3.10.6(6): *The need for the variance is not the result of the applicant's own actions;*

Response: **The need for the variance may not be the result of the applicant's own actions. The applicant's letter of intent states, "No, the island is currently secured by an older, existing manual-operated gate." Therefore, the request may meet this criterion.**

§3.10.6(7): *Granting of the variance does not substantially conflict with the Comprehensive Plan or the purposes of the Ordinance;*

Response: **Granting the variance does not appear to substantially conflict with the Comprehensive Plan or the purposes of the Ordinance, provided the Board finds that strict application of the Ordinance results in an unnecessary hardship. Additionally, the applicant's letter of intent states: "No, the requested variance will have no impact on current or future land usage." Therefore, the request may meet this criterion.**

Board of Zoning Appeals' Action:

According to Article 3.10 Zoning Variances, Section §3.10.6 Approval Criteria of the *Charleston County Zoning and Land Development Regulations Ordinance (ZLDR)*, (adopted July 18, 2006), The Board of Zoning Appeals has the authority to hear and decide appeals for a Zoning Variance when strict application of the provisions of this Ordinance would result in unnecessary hardship (§3.10.6A). A Zoning Variance may be granted in an individual case of unnecessary hardship if the Board of Zoning Appeals makes and explains in writing their findings (§3.10.6B Approval Criteria).

In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building or structure as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare (§3.10.6C).

The Board of Zoning Appeals may approve, approve with conditions or deny Case # BZA-01-26-00935 [Variance to replace and relocate an existing gate located with the

required 50-foot Critical Line buffer at the entrance to the Hoopstick Island Planned Development at 2058 Bohicket Road (TMS # 277-00-00-049) on Johns Island in Charleston County] based on the BZA's "Findings of Fact", unless additional information is deemed necessary to make an informed decision. In the event the Board decides to approve the application, the Board should consider the following conditions recommended by Staff:

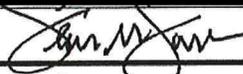
- 1. The new gate must be installed in the location and configuration shown on the approved site plan. The relocated gate and any associated construction must not result in additional encroachment into the Critical Line buffer beyond what is approved.**
- 2. All work must comply with applicable state and federal environmental regulations.**
- 3. Erosion and sediment control measures shall be implemented during construction to prevent runoff into the marsh.**

Staff Recommendation:

Based on the analysis of the seven criteria in §3.10.6, staff concludes:

- The request meets Criterion 1, 2, 3, and 5.
- The request may meet Criteria 4, 6, and 7.

ZONING VARIANCE APPLICATION
Charleston County Board of Zoning Appeals (BZA)

Property Information			
Subject Property Address: Hoopstick Island Road, Johns Island, SC 29455			
Tax Map Number(s): #277-00-00-049			
Current Use of Property: Hoopstick Island entrance and causeway			
Proposed Use of Property: No Change			
Zoning Variance Description: Replace and relocate entrance gate within critical line buffer			
Applicant Information (Required)			
Applicant Name (please print): Sean McDonnell			
Name of Company (if applicable): SFG Hoopstick Island LLC			
Mailing Address: [REDACTED]			
City: [REDACTED]	State: [REDACTED]	Zip Code: [REDACTED]	
Email Address: [REDACTED]		Phone #: [REDACTED]	
Applicant Signature: 			Date: 1.15.26
Representative Information (Complete only if applicable. Attorney, Builder, Engineer, Surveyor etc.)			
Print Representative Name and Name of Company: Navada Waterman, Seamon Whiteside			
Mailing Address: [REDACTED]			
City: [REDACTED]	State: [REDACTED]	Zip Code: [REDACTED]	
Email Address: [REDACTED]		Phone #: [REDACTED]	
Designation of Agent (Complete only if the Applicant listed above is not the Property Owner.)			
I hereby appoint the person named as Applicant and/or Representative as my (our) agent to represent me (us) in this application.			
Property Owner(s) Name(s) (please print):			
Name of Company (if applicable, LLC etc.):			
Property Owner(s) Mailing Address:			
City:	State:	Zip Code:	Phone #:
Property Owner(s) Email Address:			
Property Owner(s) Signature:			Date:
FOR OFFICE USE ONLY:			
Zoning District: PD-134	Flood Zone: AE-8 (0655K)	Date Filed: 1/22/26	Fee Paid: \$250
Application #: BZA-01-26-1935	TMS #: 277-00-00-049	Staff Initials: jfw	

Description of Request

Please describe your proposal in detail. You may attach a separate sheet if necessary. Additionally, you may provide any supporting materials that are applicable to your request (photographs, letter of support, etc.)

We are requesting a variance to allow encroachment into the critical line buffer. The project proposes to remove and replace an existing gate at the entrance of the island. The existing gate is currently in the critical line buffer and would be replaced with an updated, mechanical entrance gate.

Applicant’s response to Article 3.10 Zoning Variances, §3.10.6 Approval Criteria

Zoning Variances may be approved only if the Board of Zoning Appeals finds that the proposed use meets all 7 of the approval criteria. In evaluating your request, the members of the board will review the answers below as a part of the case record. You may attach a separate sheet if necessary.

- 1. Are there extraordinary and exceptional conditions pertaining to the subject property? Explain:

The existing island entrance drive and gate are currently in the critical line buffer. There is no other location for a new gate.

- 2. Do these conditions generally apply to other property in the vicinity or are they unique to the subject property? Explain:

This condition is unique to the subject property. The property is an island and is only accessible through the existing drive and gate.

- 3. Because of these extraordinary and exceptional conditions, would the application of this Ordinance to the subject property effectively prohibit or unreasonably restrict the utilization of the property? Explain:

Yes, the existing gate is old and secured by use of a chain, lock and key. A new, mechanical gate is necessary to provide emergency vehicular access to the island, which is currently being developed to include up to 10 separate single family parcels.

4. Will the authorization of a variance be a substantial detriment to adjacent property or to the public good? Will the character of the zoning district be harmed if this variance is granted? Explain:

No, a new gate will have no impact to surrounding properties as the gate is setback approx. 200' from Bohicket Road. The aesthetic of the gate is in keeping with the existing character of the island.

5. The BZA shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a Nonconforming Use of land, or to change the zoning district boundaries shown on the Official Zoning Map. The fact that property may be utilized more profitably if a Zoning Variance is granted shall not be considered grounds for granting a Zoning Variance. Does the variance request meet this criterion?

The variance request meets all conforming variance criterion.

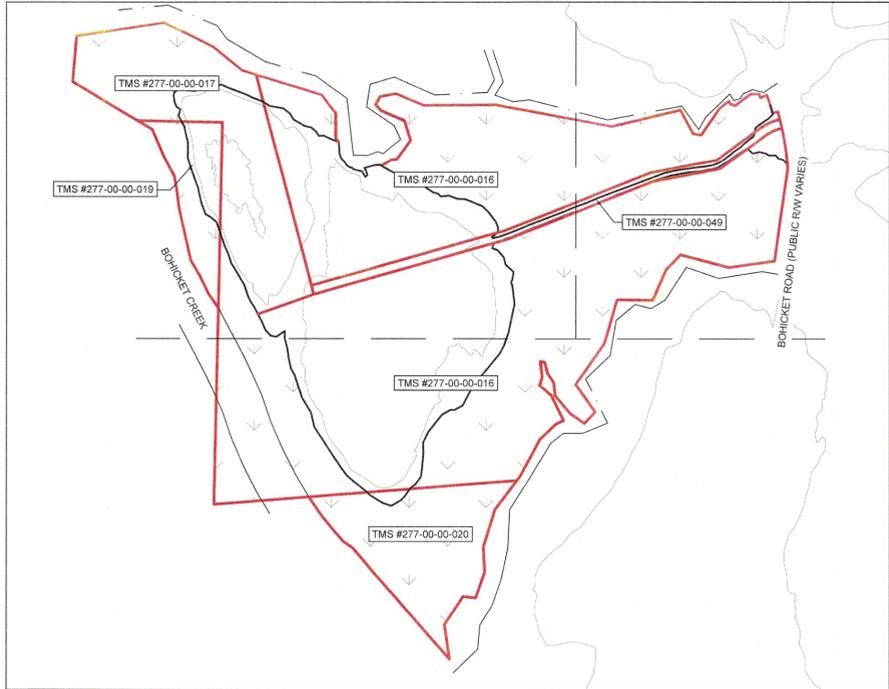
6. Is the need for the variance the result of your own actions? Explain:

No, the island is currently secured by an older, existing manual-operated gate.

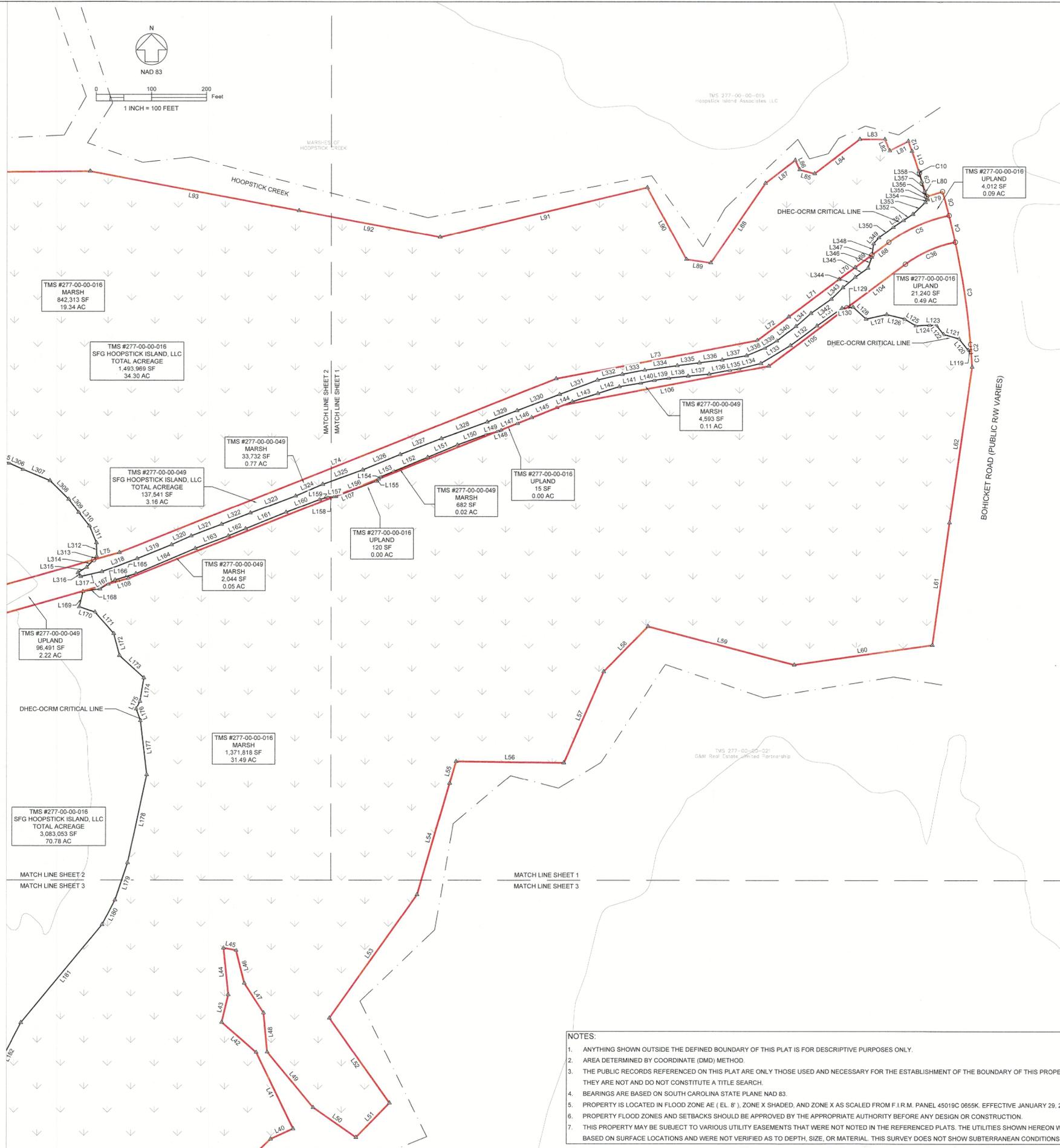
7. Does the variance substantially conflict with the Charleston County Comprehensive Plan or the purposes of the Ordinance? Explain

No, the requested variance will have no impact on current or future land usage.

In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building or structure as the Board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare.



SITE MAP: 1 INCH = 500 FEET



REFERENCES:

PLAT BOOK	PAGE	DATE
Y	070	04-24-1969

LEGEND

●	PROPERTY CORNER FOUND, AS DESCRIBED
○	PROPERTY CORNER, 5/8" REBAR SET
△	MEANDER POINT, NO CORNER SET
—	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
---	DHEC-OCRM CRITICAL LINE

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT (SCDHEC OCRM) PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC OCRM, SCDHEC OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE: *Philip R. Bryan, Jr.* DATE: 09/25/2023

The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

Philip R. Bryan, Jr.
P.L.L.C. S. No. 28597



NOTES:

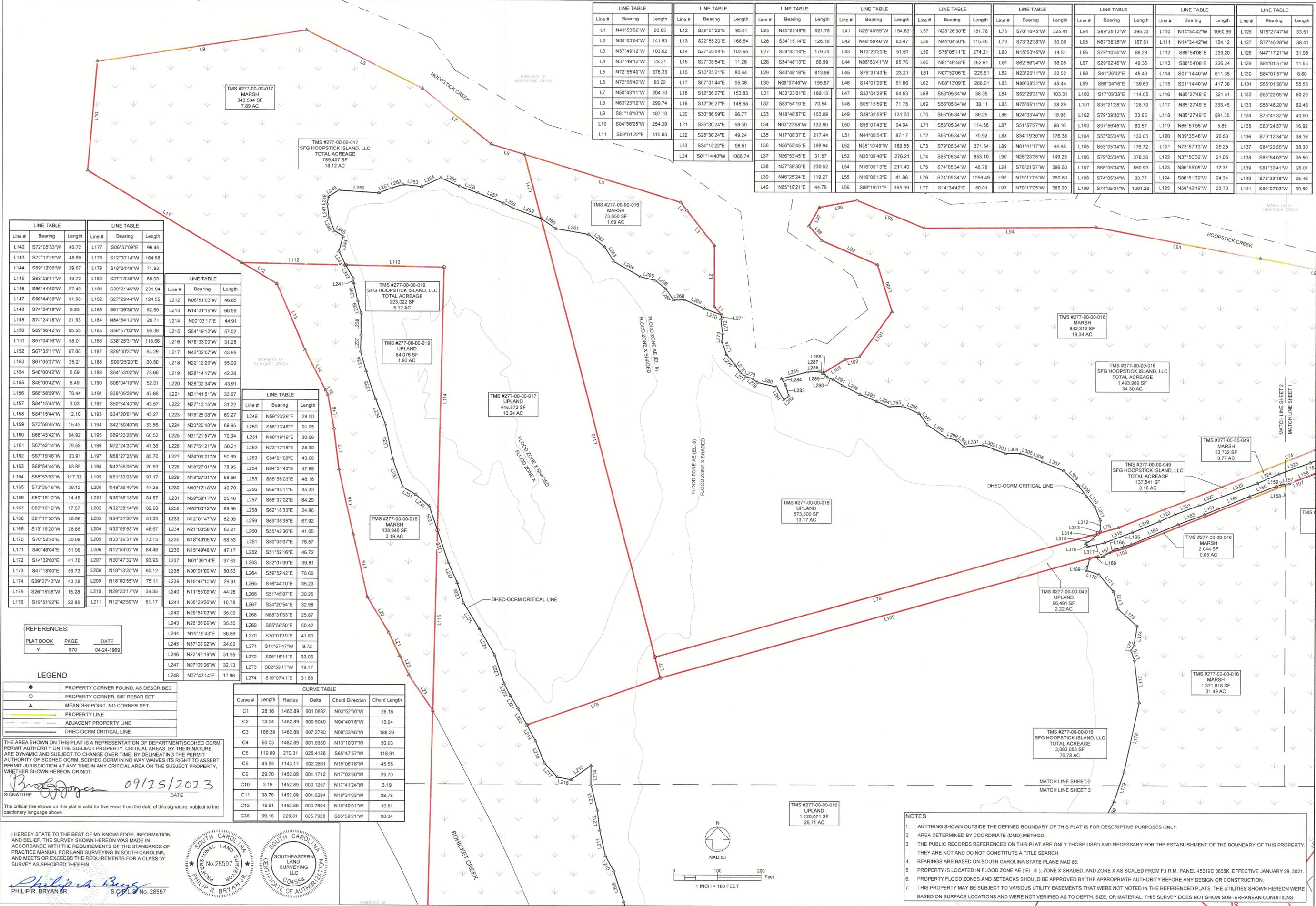
1. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
2. AREA DETERMINED BY COORDINATE (DMD) METHOD.
3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND NECESSARY FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
4. BEARINGS ARE BASED ON SOUTH CAROLINA STATE PLANE NAD 83.
5. PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 8'), ZONE X SHADED, AND ZONE X AS SCALED FROM F.I.R.M. PANEL 45019C 0655K, EFFECTIVE JANUARY 29, 2021.
6. PROPERTY FLOOD ZONES AND SETBACKS SHOULD BE APPROVED BY THE APPROPRIATE AUTHORITY BEFORE ANY DESIGN OR CONSTRUCTION.
7. THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS THAT WERE NOT NOTED IN THE REFERENCED PLATS. THE UTILITIES SHOWN HEREON WERE BASED ON SURFACE LOCATIONS AND WERE NOT VERIFIED AS TO DEPTH, SIZE, OR MATERIAL. THIS SURVEY DOES NOT SHOW SUBTERRANEAN CONDITIONS.

NO.	DATE	DESCRIPTION	BY
1	09-19-2023	OCRM COMMENTS	

SOUTHEASTERN LAND SURVEYING LLC
 1035-B JENKINS ROAD
 CHARLESTON SC 29407
 (843)795-9330

A BOUNDARY SURVEY OF
 TMS #277-00-00-016, #277-00-00-049, #277-00-00-017, #277-00-00-019, & #277-00-00-020
 HOOPSTICK ISLAND
 OWNED BY SFG HOOPSTICK ISLAND, LLC
 LOCATED NEAR THE CITY OF CHARLESTON
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE:	JULY 24, 2023
DRAWN:	M. SCHMIEDER
CHECK:	P. BRYAN
CC:	S. STACKS
JOB:	23107
DWG:	23107
SHEET:	1 OF 3



LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE																																																														
Line #	Bearing	Length	Line #	Bearing	Length	Line #	Bearing	Length	Line #	Bearing	Length	Line #	Bearing	Length	Line #	Bearing	Length	Line #	Bearing	Length																																																			
L1	N41°53'32"W	26.05	L12	S59°01'22"E	93.91	L25	N85°27'49"E	521.76	L41	N25°40'59"W	154.63	L57	N23°26'30"E	181.78	L73	S70°16'45"W	325.41	L89	S89°35'13"W	395.23	L105	N14°34'42"W	1050.69	L121	N76°27'47"W	33.51	L137	N77°45'28"W	38.41	L153	N47°17'21"W	31.95	L169	S88°54'08"E	239.20	L185	S88°54'08"E	226.24	L201	S84°01'57"W	11.55	L217	S84°01'57"W	8.60	L233	S55°01'58"W	55.55	L249	S53°22'05"W	60.25	L265	S58°46'20"W	62.45	L281	S75°47'32"W	40.90	L297	S80°24'57"W	16.92	L313	S83°54'03"W	35.50	L329	S81°30'41"W	26.01	L345	S78°33'18"W	25.48	L361	S80°07'03"W	39.50

LINE TABLE	LINE TABLE				
Line #	Bearing	Length	Line #	Bearing	Length
L142	S72°05'53"W	40.72	L177	S06°37'09"E	99.45
L143	S72°12'29"W	48.69	L178	S12°00'14"W	164.58
L144	S69°12'05"W	29.67	L179	S18°24'48"W	71.93
L145	S68°09'41"W	49.72	L180	S27°13'48"W	50.99
L146	S66°44'50"W	27.49	L181	S39°21'45"W	231.94
L147	S66°44'50"W	31.98	L182	S27°29'44"W	124.55
L148	S74°24'18"W	6.83	L183	S61°06'38"W	52.80
L149	S74°24'18"W	21.93	L184	N84°54'13"W	20.71
L150	S69°56'42"W	55.55	L185	S58°57'03"W	56.38
L151	S67°04'16"W	58.01	L186	S38°25'31"W	118.66
L152	S67°35'11"W	67.08	L187	S26°00'27"W	63.29
L153	S67°05'27"W	25.21	L188	S00°25'20"W	60.50
L154	S46°00'42"W	5.69	L189	S04°53'02"W	78.60
L155	S48°00'42"W	5.49	L190	S08°04'10"W	52.01
L156	S68°58'59"W	78.44	L191	S35°05'26"W	47.65
L157	S84°15'44"W	3.03	L192	S50°34'43"W	43.57
L158	S84°15'44"W	12.10	L193	S34°20'01"W	45.27
L159	S73°58'45"W	15.43	L194	S42°30'40"W	33.56
L160	S68°43'42"W	64.92	L195	S59°23'28"W	60.52
L161	S67°42'14"W	79.58	L196	N72°24'33"W	47.36
L162	S67°19'46"W	33.91	L197	N58°27'25"W	85.70
L163	S68°54'44"W	63.95	L198	N42°55'06"W	20.93
L164	S66°53'03"W	117.32	L199	N51°33'05"W	97.17
L165	S72°35'16"W	39.12	L200	N48°26'40"W	47.25
L166	S59°16'12"W	14.48	L201	N36°56'15"W	64.87
L167	S59°16'12"W	17.57	L202	N32°28'14"W	82.28
L168	S81°17'55"W	30.96	L203	N34°31'06"W	51.36
L169	S13°19'20"W	28.66	L204	N32°09'53"W	48.67
L170	S70°52'20"E	30.08	L205	N33°39'31"W	73.15
L171	S40°46'04"E	51.99	L206	N12°54'02"W	84.48
L172	S14°32'00"E	41.70	L207	N30°47'32"W	93.93
L173	S47°18'00"E	59.73	L208	N18°13'25"W	60.12
L174	S09°27'43"W	43.38	L209	N18°00'55"W	75.11
L175	S26°15'05"W	15.28	L210	N29°23'17"W	39.35
L176	S19°51'52"E	22.85	L211	N12°42'59"W	61.17

LINE TABLE		
Line #	Bearing	Length
L212	N06°51'03"W	46.85
L213	N14°31'19"W	60.59
L214	N00°03'17"E	44.91
L215	S54°19'12"W	57.02
L216	N78°33'09"W	31.28
L217	N42°32'07"W	43.95
L218	N22°12'29"W	55.00
L219	N28°14'17"W	42.36
L220	N28°02'34"W	43.91
L221	N31°41'51"W	33.67
L222	N27°13'15"W	31.22
L223	N18°25'08"W	69.27
L224	N30°20'48"W	69.95
L225	N31°21'57"W	70.34
L226	N17°51'21"W	50.21
L227	N24°09'21"W	50.89
L228	N18°27'01"W	78.95
L229	N18°27'01"W	58.59
L230	N49°12'18"W	40.70
L231	N59°39'17"W	35.40
L232	N20°00'12"W	68.96
L233	N12°01'47"W	82.09
L234	N21°03'58"W	63.21
L235	N18°49'06"W	68.53
L236	N15°49'48"W	47.17
L237	N01°39'14"E	37.63
L238	N00°01'09"W	50.63
L239	N15°47'10"W	29.61
L240	N11°55'09"W	44.28
L241	N05°29'35"W	10.78
L242	N29°54'03"W	35.02
L243	N26°38'09"W	35.30
L244	N15°15'43"E	36.66
L245	N57°08'02"W	24.02
L246	N22°47'19"W	31.95
L247	N07°09'06"W	32.13
L248	N07°42'14"E	17.96
L249	N59°23'29"E	28.00
L250	S66°13'46"E	91.95
L251	N68°19'19"E	30.59
L252	N73°17'18"E	28.90
L253	S84°01'08"E	43.06
L254	N64°31'43"E	47.99
L255	S65°58'03"E	48.16
L256	S69°45'11"E	45.33
L257	S68°37'02"E	64.29
L258	S62°18'33"E	24.86
L259	S69°35'35"E	67.92
L260	S55°42'36"E	41.05
L261	S80°05'07"E	76.57
L262	S51°52'16"E	46.72
L263	S32°07'09"E	39.81
L264	S59°52'42"E	70.60
L265	S76°44'10"E	35.23
L266	S51°45'07"E	30.25
L267	S34°20'54"E	32.98
L268	N88°31'53"E	25.87
L269	S65°56'50"E	50.42
L270	S70°01'19"E	41.60
L271	S11°57'47"W	9.72
L272	S06°15'11"E	33.06
L273	S02°59'17"W	19.17
L274	S19°07'41"E	31.68

PLAT BOOK	PAGE	DATE
Y	070	04-24-1969

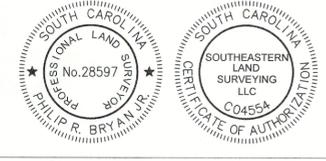
LEGEND	
●	PROPERTY CORNER FOUND, AS DESCRIBED
○	PROPERTY CORNER, 5/8" REBAR SET
△	MEANDER POINT, NO CORNER SET
—	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
- · - · -	DHEC-OCRM CRITICAL LINE

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT OF SCIENCE, RESEARCH AND TECHNOLOGY (SCDHEC) OCRM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC OCRM, SCDHEC OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

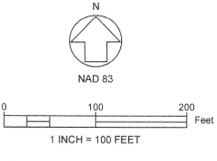
Signature: *Philip R. Bryan* DATE: 09/25/2023

The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.



CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	28.16	1482.89	001.0882	N03°52'30"W	28.16
C2	13.04	1482.89	000.5040	N04°40'16"W	13.04
C3	188.39	1482.89	007.2790	N08°33'46"W	188.26
C4	50.03	1482.89	001.9330	N13°10'07"W	50.03
C5	119.89	270.31	025.4126	S65°47'57"W	118.91
C6	45.55	1143.17	002.2831	N15°06'16"W	45.55
C9	29.70	1452.89	001.1712	N17°02'30"W	29.70
C10	3.19	1452.89	000.1257	N17°41'24"W	3.19
C11	38.78	1452.89	001.5294	N18°31'03"W	38.78
C12	19.51	1452.89	000.7694	N19°40'01"W	19.51
C36	99.18	220.31	025.7928	S65°59'21"W	98.34



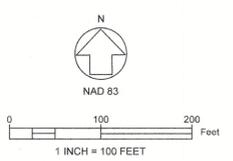
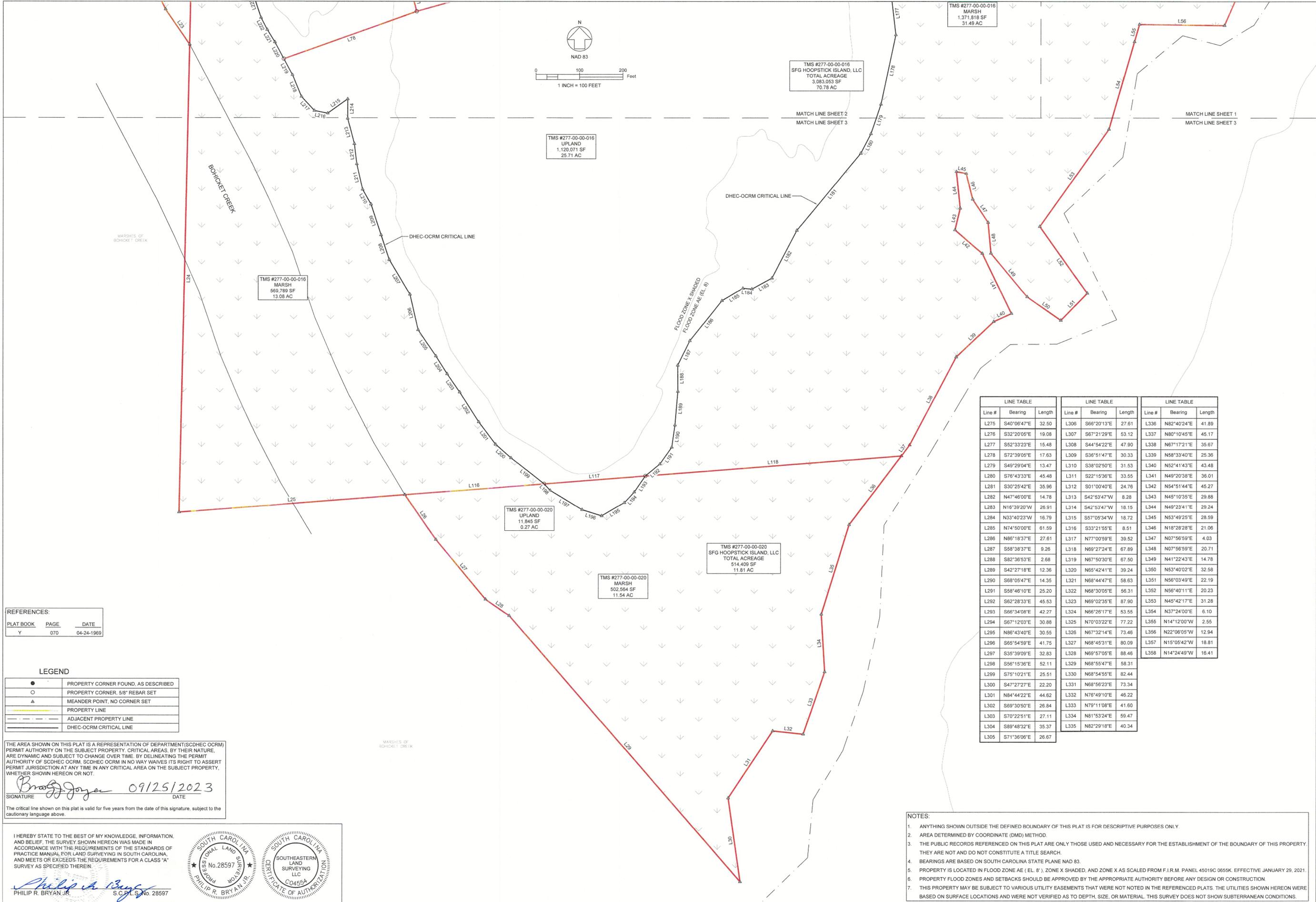
- NOTES:
1. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
 2. AREA DETERMINED BY COORDINATE (DMD) METHOD.
 3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND NECESSARY FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 4. BEARINGS ARE BASED ON SOUTH CAROLINA STATE PLANE NAD 83.
 5. PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 8'), ZONE X SHADED, AND ZONE X AS SCALED FROM F.I.R.M. PANEL 45019C 0655K, EFFECTIVE JANUARY 29, 2021.
 6. PROPERTY FLOOD ZONES AND SETBACKS SHOULD BE APPROVED BY THE APPROPRIATE AUTHORITY BEFORE ANY DESIGN OR CONSTRUCTION.
 7. THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS THAT WERE NOT NOTED IN THE REFERENCED PLATS. THE UTILITIES SHOWN HEREON WERE BASED ON SURFACE LOCATIONS AND WERE NOT VERIFIED AS TO DEPTH, SIZE, OR MATERIAL. THIS SURVEY DOES NOT SHOW SUBTERRANEAN CONDITIONS.

MAS	OCRM COMMENTS	NO.	DATE	DESCRIPTION	BY
1	09-16-2023				

SOUTHEASTERN LAND SURVEYING LLC
 1035-B JENKINS ROAD
 CHARLESTON SC 29407
 (843)795-9330

A BOUNDARY SURVEY OF
 #277-00-00-049, #277-00-00-017, #277-00-00-019, & #277-00-00-020
 HOOPSTICK ISLAND
 OWNED BY SFG HOOPSTICK ISLAND, LLC
 LOCATED NEAR THE CITY OF CHARLESTON
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE: JULY 24, 2023
 DRAWN: M. SCHMIEDER
 CHECK: P. BRYAN
 CC: S. STACKS
 JOB: 23107
 DWG: 23107
 SHEET: 2 OF 3



REFERENCES:

PLAT BOOK	PAGE	DATE
Y	070	04-24-1969

LEGEND

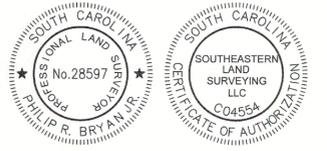
●	PROPERTY CORNER FOUND, AS DESCRIBED
○	PROPERTY CORNER, 5/8" REBAR SET
▲	MEANDER POINT, NO CORNER SET
—	PROPERTY LINE
- - -	ADJACENT PROPERTY LINE
---	DHEC-OCRM CRITICAL LINE

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT(S)CDHEC (OCRM) PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF CDHEC OCRM, SCDHEC OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

Philip R. Bryan Jr. 09/25/2023
SIGNATURE DATE

The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.



LINE TABLE			LINE TABLE			LINE TABLE		
Line #	Bearing	Length	Line #	Bearing	Length	Line #	Bearing	Length
L275	S40°06'47"E	32.50	L306	S66°20'13"E	27.81	L336	N82°40'24"E	41.89
L276	S32°20'05"E	19.08	L307	S67°21'29"E	53.12	L337	N80°10'45"E	45.17
L277	S52°33'23"E	15.48	L308	S44°54'22"E	47.90	L338	N67°17'21"E	35.67
L278	S72°39'05"E	17.63	L309	S36°51'47"E	30.33	L339	N58°33'40"E	25.36
L279	S49°29'04"E	13.47	L310	S38°02'50"E	31.53	L340	N52°41'43"E	43.48
L280	S76°43'33"E	45.48	L311	S22°15'36"E	33.55	L341	N49°20'38"E	36.01
L281	S30°25'42"E	35.96	L312	S01°00'40"E	24.76	L342	N54°51'44"E	45.27
L282	N47°46'00"E	14.78	L313	S42°53'47"W	8.28	L343	N45°10'35"E	29.88
L283	N16°39'20"W	26.91	L314	S42°53'47"W	18.15	L344	N49°23'41"E	29.24
L284	N33°40'23"W	16.79	L315	S57°05'34"W	18.72	L345	N53°49'25"E	28.59
L285	N74°50'00"E	61.59	L316	S33°21'55"E	8.51	L346	N18°28'28"E	21.06
L286	N86°18'37"E	27.61	L317	N77°00'59"E	39.52	L347	N07°56'59"E	4.03
L287	S58°38'37"E	9.26	L318	N69°27'24"E	67.89	L348	N07°56'59"E	20.71
L288	S82°36'53"E	2.68	L319	N67°50'30"E	67.50	L349	N41°22'43"E	14.78
L289	S42°27'18"E	12.36	L320	N65°42'41"E	39.24	L350	N53°40'02"E	32.58
L290	S68°05'47"E	14.35	L321	N68°44'47"E	58.63	L351	N56°03'49"E	22.19
L291	S58°46'10"E	25.20	L322	N68°30'05"E	56.31	L352	N56°40'11"E	20.23
L292	S62°28'33"E	45.53	L323	N69°02'35"E	87.90	L353	N45°42'17"E	31.28
L293	S66°34'08"E	42.27	L324	N66°26'17"E	53.55	L354	N37°24'00"E	6.10
L294	S67°12'03"E	30.88	L325	N70°03'22"E	77.22	L355	N14°12'00"W	2.55
L295	N86°43'40"E	30.55	L326	N67°32'14"E	73.46	L356	N22°06'05"W	12.94
L296	S65°54'59"E	41.75	L327	N68°45'31"E	80.09	L357	N15°05'42"W	18.81
L297	S35°39'09"E	32.83	L328	N69°57'05"E	88.46	L358	N14°24'49"W	16.41
L298	S56°15'36"E	52.11	L329	N68°55'47"E	58.31			
L299	S75°10'21"E	25.51	L330	N68°54'55"E	82.44			
L300	S47°27'27"E	22.20	L331	N68°56'23"E	73.34			
L301	N84°44'22"E	44.62	L332	N76°49'10"E	46.22			
L302	S69°30'50"E	26.84	L333	N79°11'08"E	41.60			
L303	S70°22'51"E	27.11	L334	N81°53'24"E	59.47			
L304	S89°48'32"E	35.37	L335	N82°29'18"E	40.34			
L305	S71°36'06"E	26.67						

- NOTES:
1. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
 2. AREA DETERMINED BY COORDINATE (DMD) METHOD.
 3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND NECESSARY FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 4. BEARINGS ARE BASED ON SOUTH CAROLINA STATE PLANE NAD 83.
 5. PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 6'), ZONE X SHADED, AND ZONE X AS SCALED FROM F.I.R.M. PANEL 45019C 0655K, EFFECTIVE JANUARY 28, 2021.
 6. PROPERTY FLOOD ZONES AND SETBACKS SHOULD BE APPROVED BY THE APPROPRIATE AUTHORITY BEFORE ANY DESIGN OR CONSTRUCTION.
 7. THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS THAT WERE NOT NOTED IN THE REFERENCED PLATS. THE UTILITIES SHOWN HEREON WERE BASED ON SURFACE LOCATIONS AND WERE NOT VERIFIED AS TO DEPTH, SIZE, OR MATERIAL. THIS SURVEY DOES NOT SHOW SUBTERRANEAN CONDITIONS.

OCRM COMMENTS

NO.	DATE	DESCRIPTION	BY
1	09-19-2023		

SOUTHEASTERN LAND SURVEYING LLC
 1035-B JENKINS ROAD
 CHARLESTON SC 29407
 (843)795-9330

A BOUNDARY SURVEY OF
 TMS #277-00-00-016, #277-00-00-049, #277-00-00-017, #277-00-00-019, & #277-00-00-020
 HOOPSTICK ISLAND
 OWNED BY SFG HOOPSTICK ISLAND, LLC
 LOCATED NEAR THE CITY OF CHARLESTON
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE: JULY 24, 2023

DRAWN:	M. SCHMIEDER
CHECK:	P. BRYAN
CC:	S. STACKS
JOB:	23107
DWG:	23107
SHEET:	3 OF 3



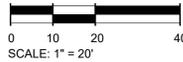
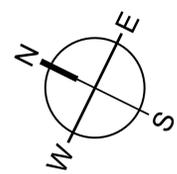
HOOPSTICK ISLAND ENTRY
STONEMONT FINANCIAL GROUP
CHARLESTON, SOUTH CAROLINA

SW+ PROJECT: 10667
DATE: 1/15/26
DRAWN BY: CEJ
CHECKED BY: PDP

REVISION HISTORY

NO.	DESCRIPTION

SITE PLAN



Entry Gate
Hoopstick Island
Johns Island, South Carolina

Entry Gate Hoopstick Island

Johns Island, South Carolina

Meyer | Greeson | Paullin | Benson

Architecture/Interior Design PA
320 South Tryon Street | Suite 222 | Charlotte, NC 28202
Phone (704) 375-1001 | Fax (704) 333-3620

FOR PRICING

DRAWING INDEX

CS-1.0 Cover Sheet

Site/Landscape

L-1.0 Site Plan

Architecture

A-1.0 Foundation Plan
A-1.1 Plan
A-2.0 Elevations
A-3.0 Sections and Details
A-3.1 Sections and Details
A-3.2 Sections and Details

Structural

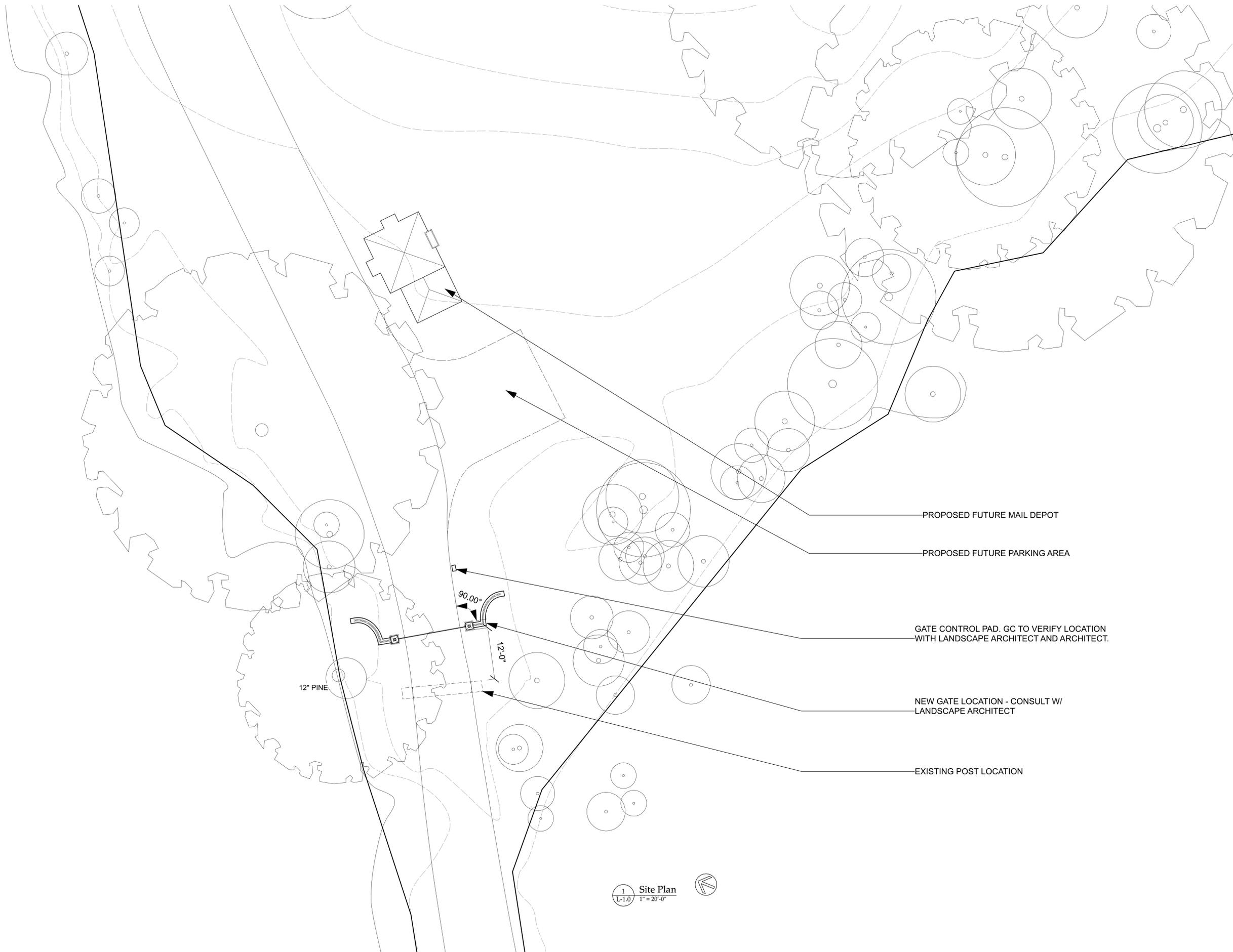
S-1.0 Structural Foundation Plan
S-1.1 Structural Plan



FOR PERMIT

Cover Sheet	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	CS-1.0

Entry Gate
Hoopstick Island
Johns Island, South Carolina



PROPOSED FUTURE MAIL DEPOT

PROPOSED FUTURE PARKING AREA

GATE CONTROL PAD. GC TO VERIFY LOCATION WITH LANDSCAPE ARCHITECT AND ARCHITECT.

NEW GATE LOCATION - CONSULT W/ LANDSCAPE ARCHITECT

EXISTING POST LOCATION

12" PINE

90.00°
12.00'

1 Site Plan
L-1.0 1" = 20'-0"

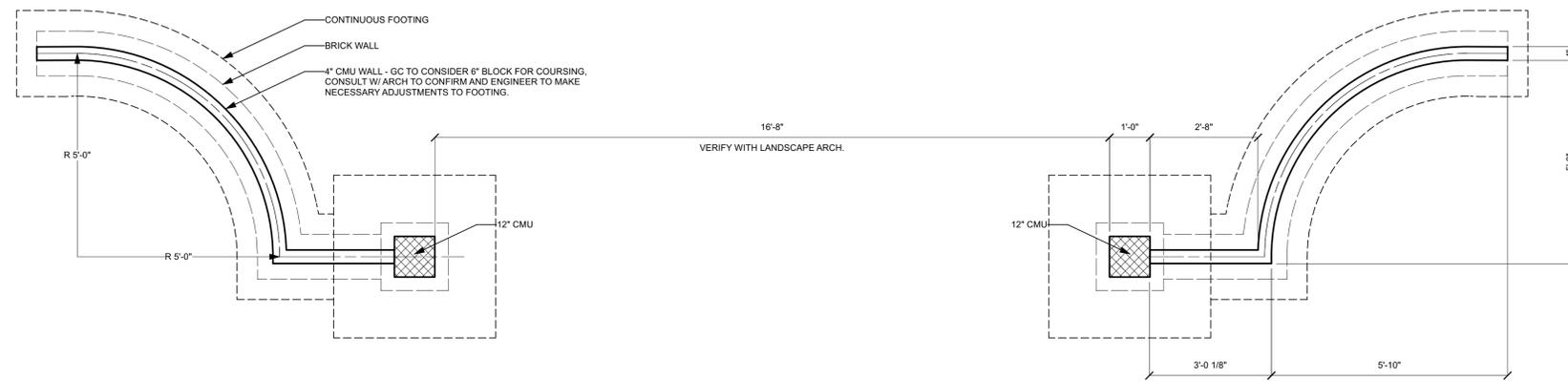


FOR PERMIT

Site Plan	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	L-1.0

Entry Gate
Hoopstick Island
Johns Island, South Carolina

NOTE: REFERENCE STRUCTURAL DRAWINGS FOR PIER SIZING AND LOCATIONS, FOOTINGS, FOUNDATION WALL SIZES AND ADDITIONAL INFORMATION. CONSULT W/ ENGINEER UPON GATE WEIGHT DETERMINATION



1 Foundation Plan
A-1.0 1/2" = 1'-0"

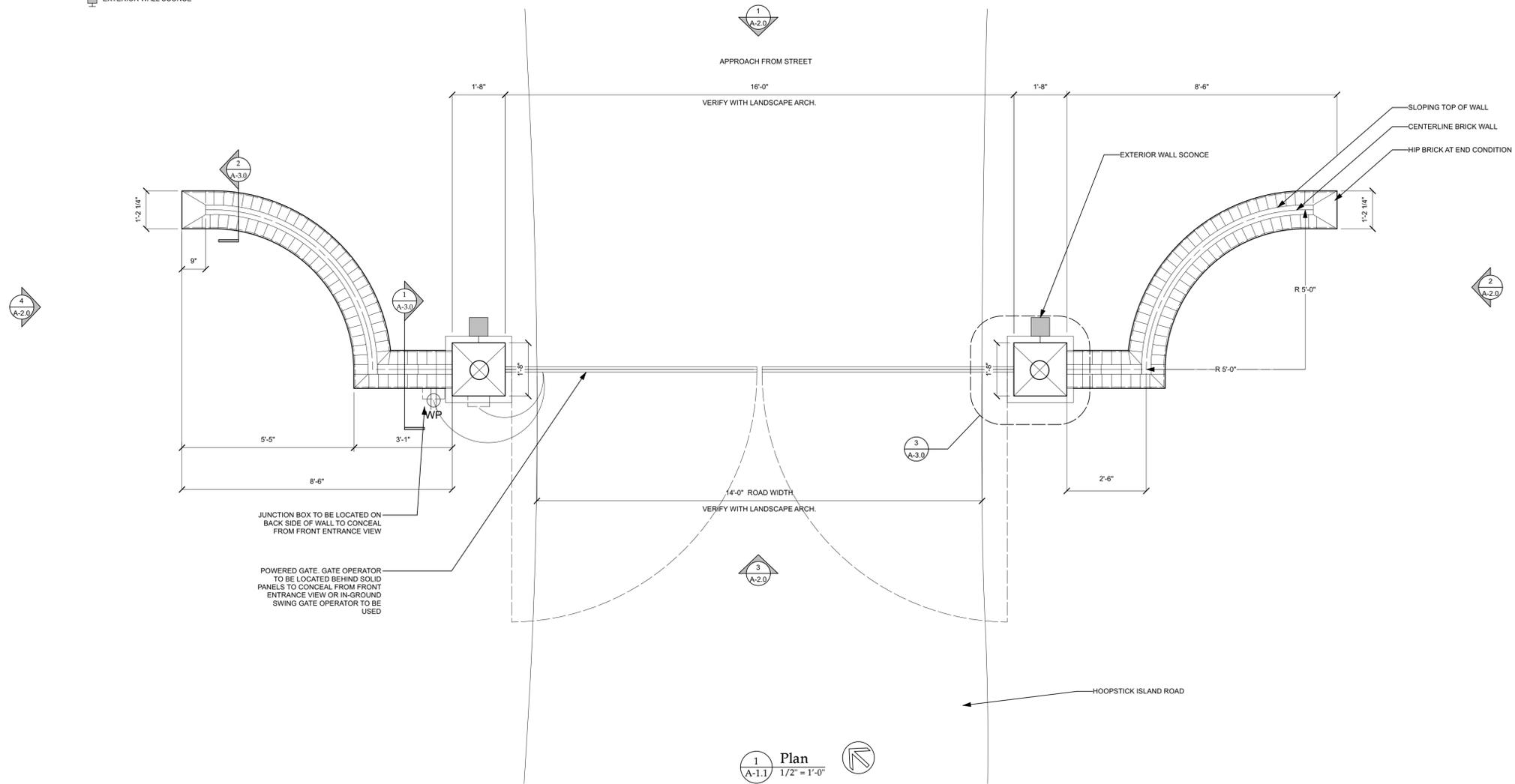


FOR PERMIT

Foundation Plan	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	A-1.0

Entry Gate
Hoopstick Island
Johns Island, South Carolina

ELECTRICAL LEGEND
 WATERPROOF DUPLEX RECEPTACLE
 EXTERIOR WALL SCONCE



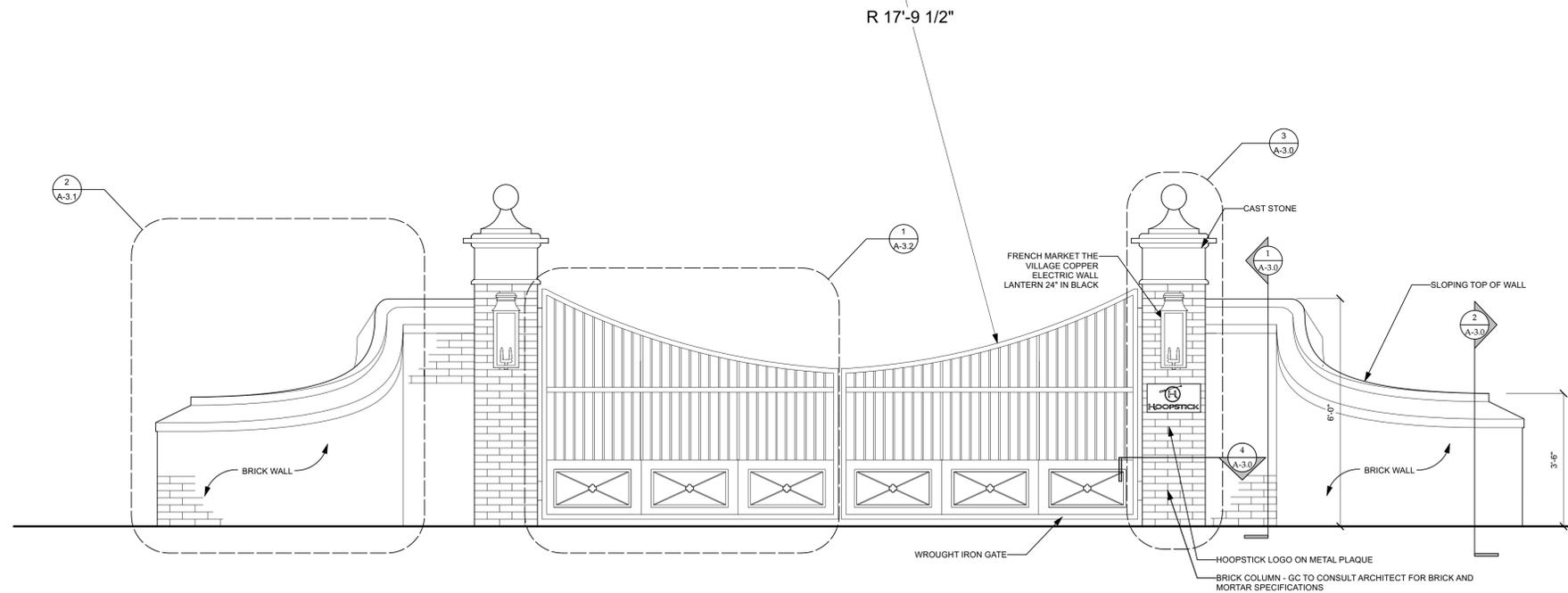
1 Plan
A-1.1 1/2" = 1'-0"



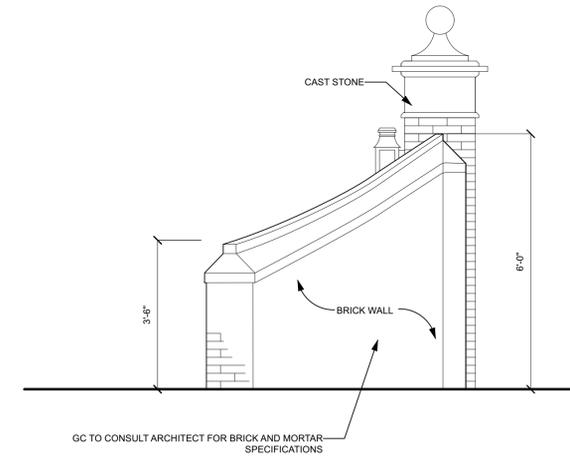
FOR PERMIT

Plan	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	A-1.1

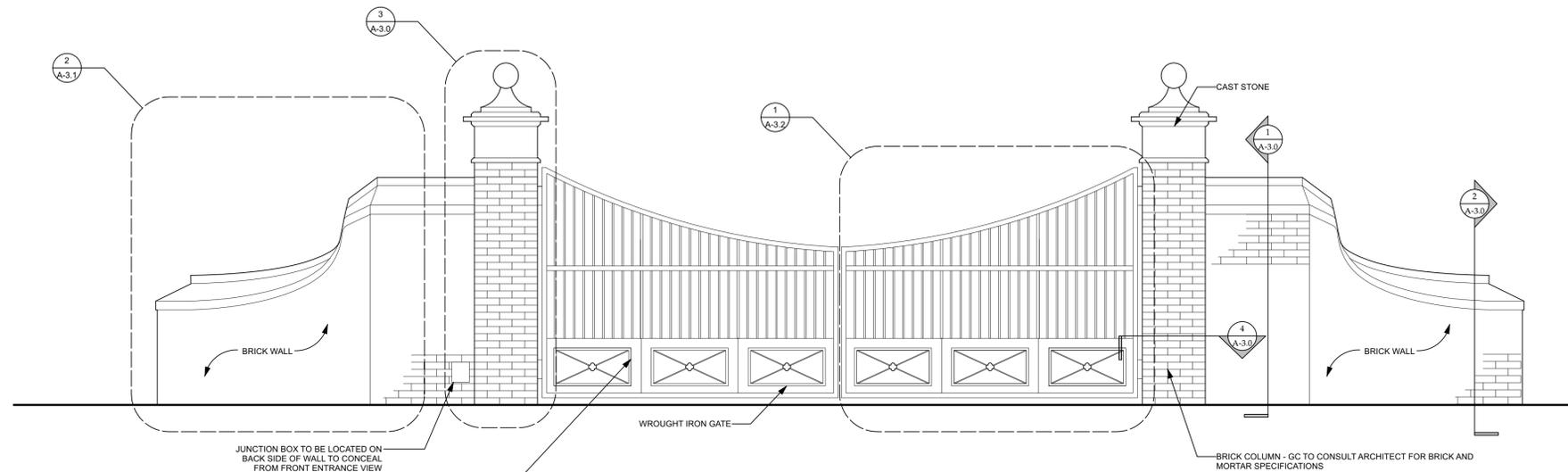
Entry Gate
Hoopstick Island
Johns Island, South Carolina



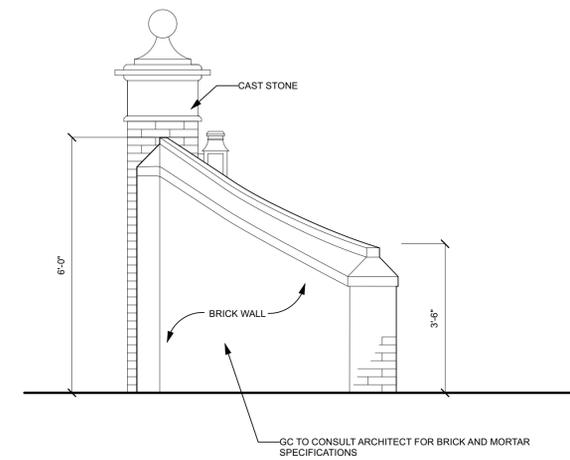
1 Entrance Elevation
A-2.0 1/2" = 1'-0"



2 Right Elevation
A-2.0 1/2" = 1'-0"



3 Rear Elevation
A-2.0 1/2" = 1'-0"



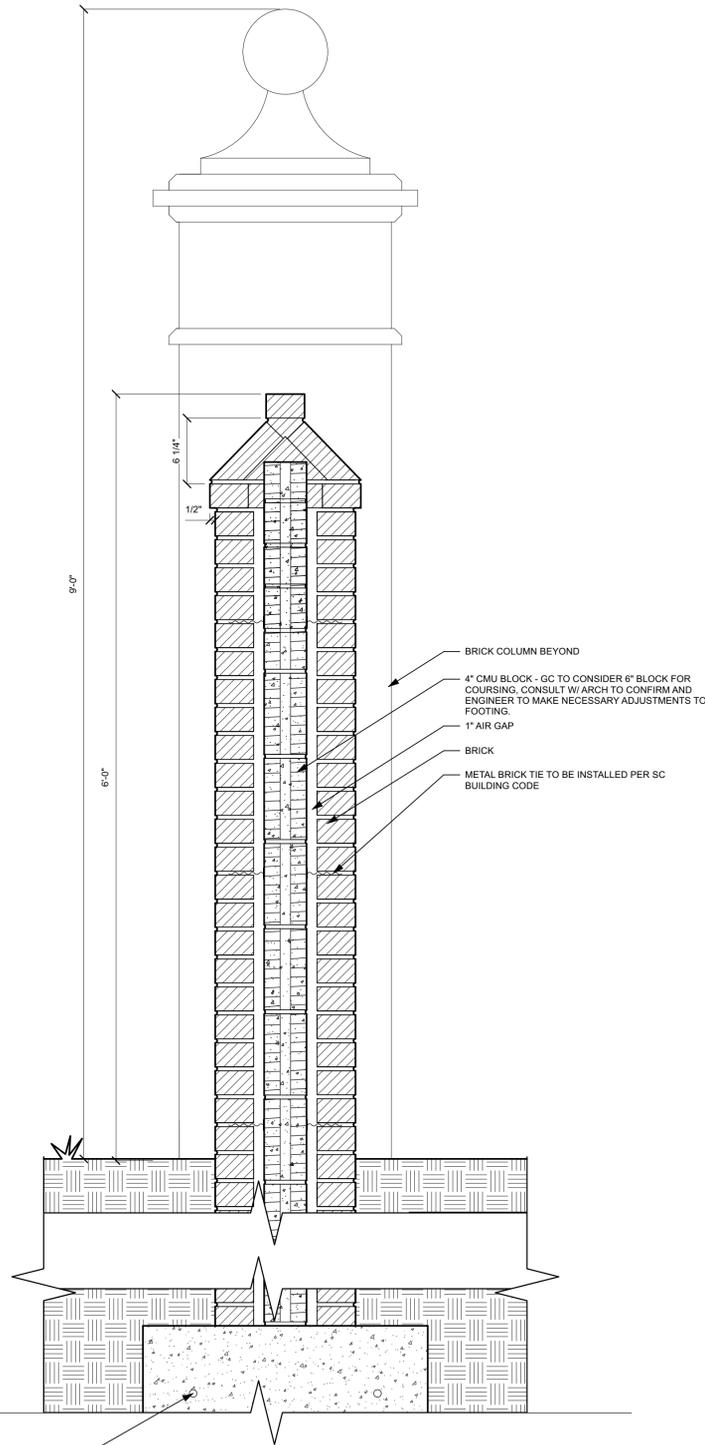
4 Left Elevation
A-2.0 1/2" = 1'-0"



FOR PERMIT

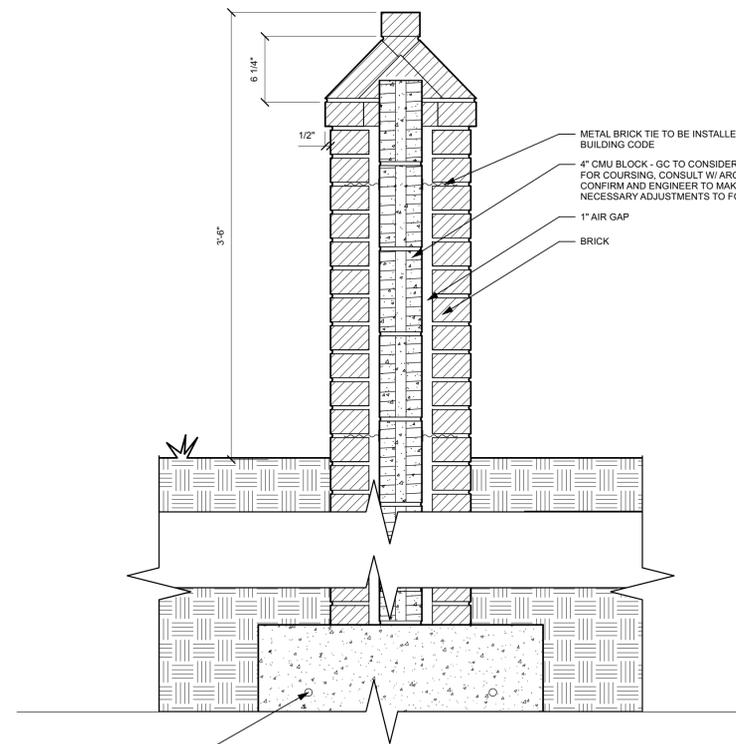
Elevations	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	A-2.0

Entry Gate
Hoopstick Island
Johns Island, South Carolina



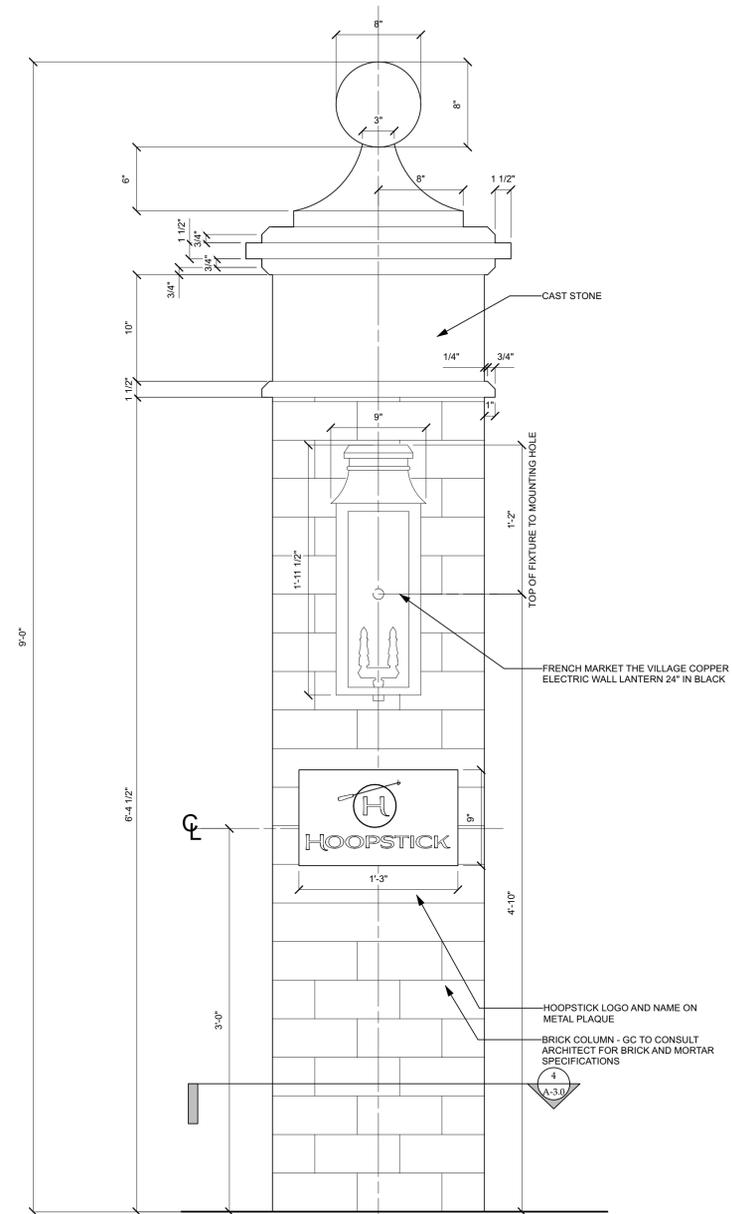
REBAR TO BE SIZED AND LOCATED BY STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWINGS.

1 Section Detail at Brick Wall Start
A-3.0 1 1/2" = 1'-0"

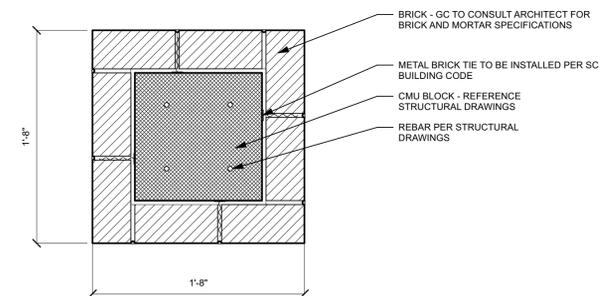


REBAR TO BE SIZED AND LOCATED BY STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWINGS.

2 Section Detail at Brick Wall End
A-3.0 1 1/2" = 1'-0"



3 Brick Column Details
A-3.0 1 1/2" = 1'-0"



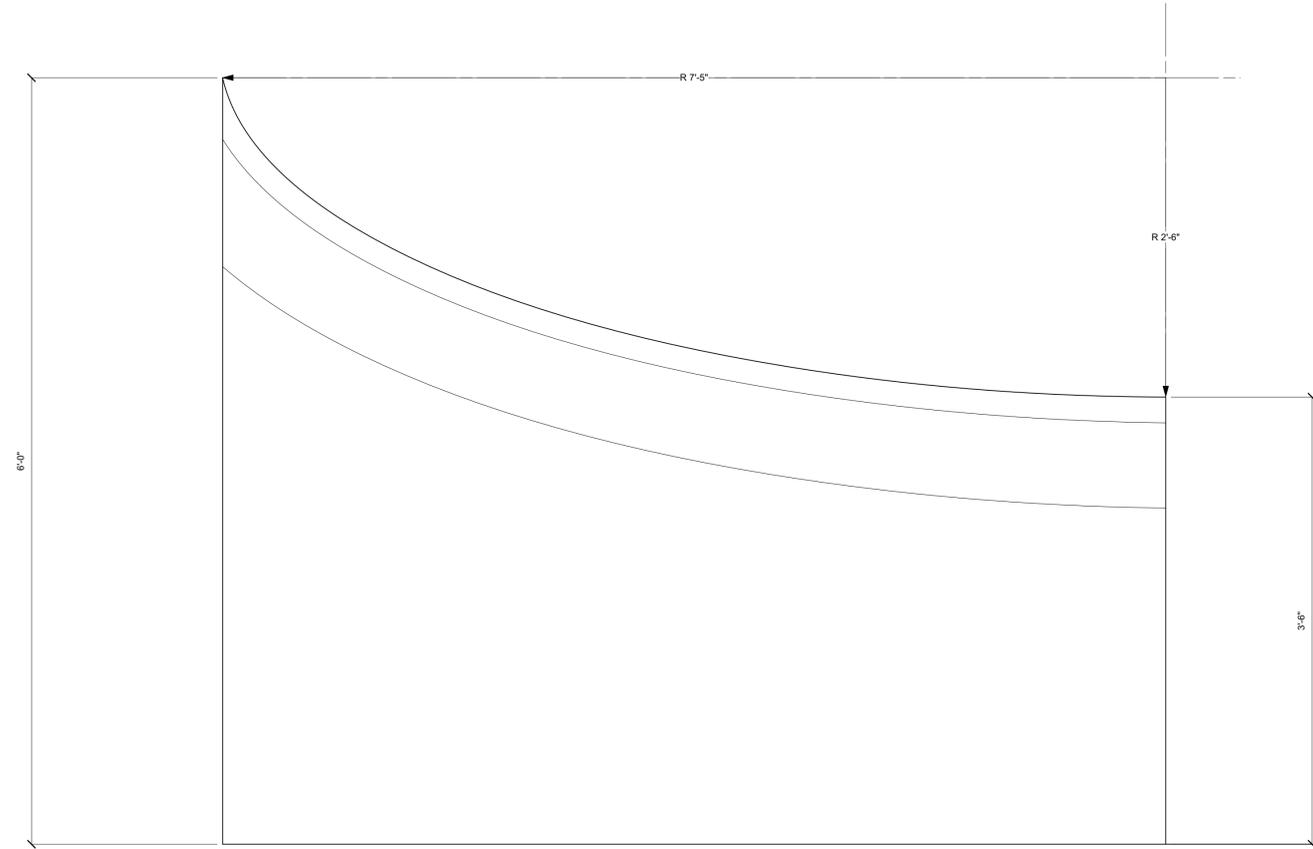
4 Brick Column Plan Detail
A-3.0 1 1/2" = 1'-0"



FOR PERMIT

Section and Details	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	A-3.0

Entry Gate
Hoopstick Island
Johns Island, South Carolina



1
A-3.1 Unrolled Curved Brick Wall Elevation
1 1/2" = 1'-0"



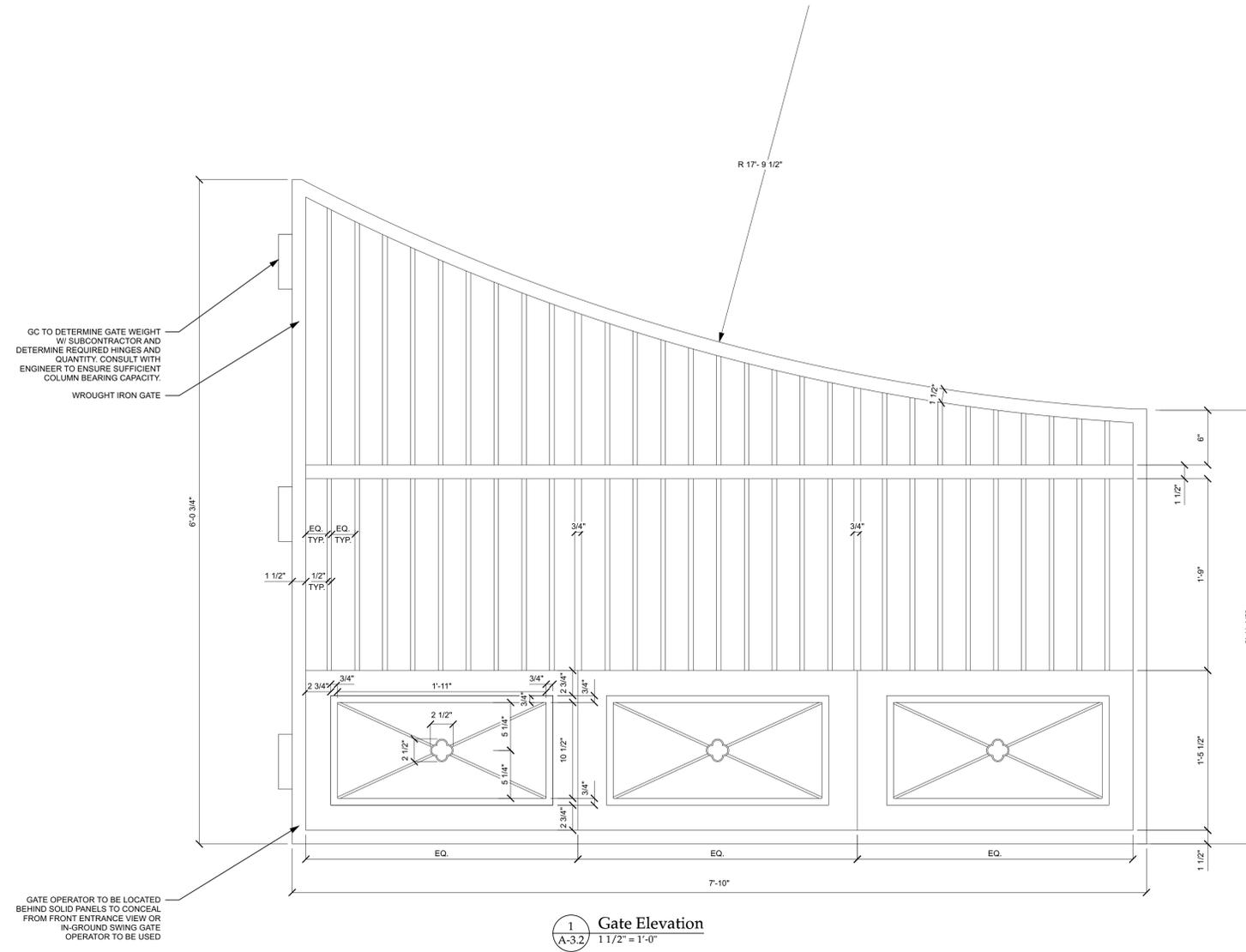
2
A-3.1 3D Model Front Elevation View
NTS



FOR PERMIT

Section and Details	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	A-3.1

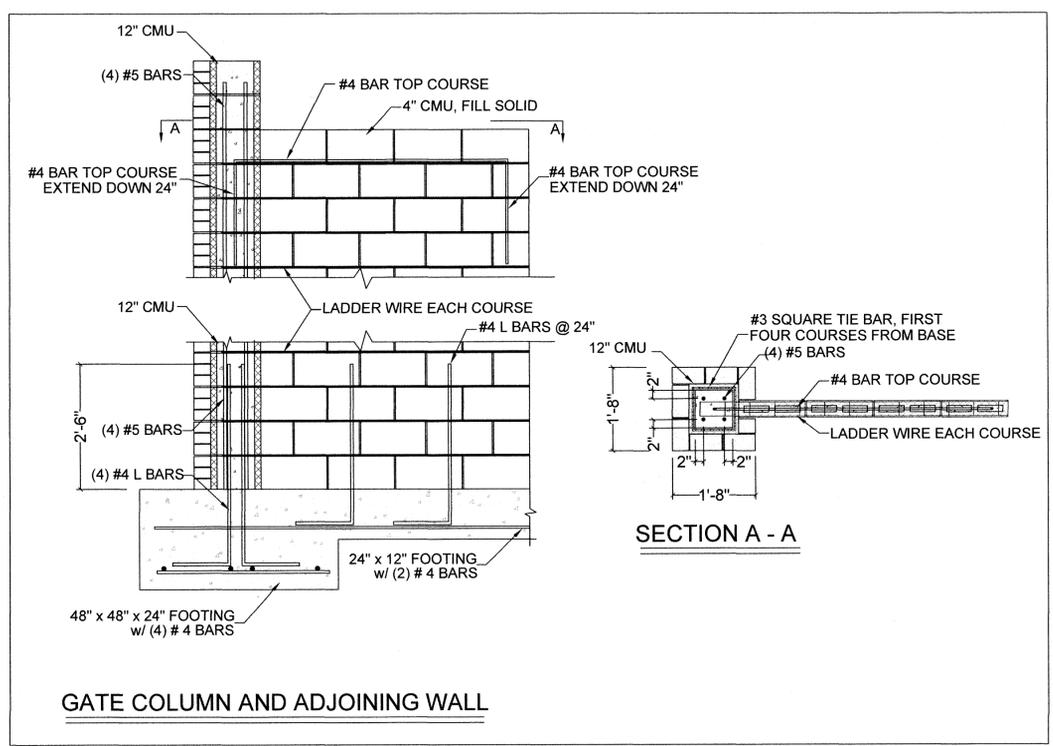
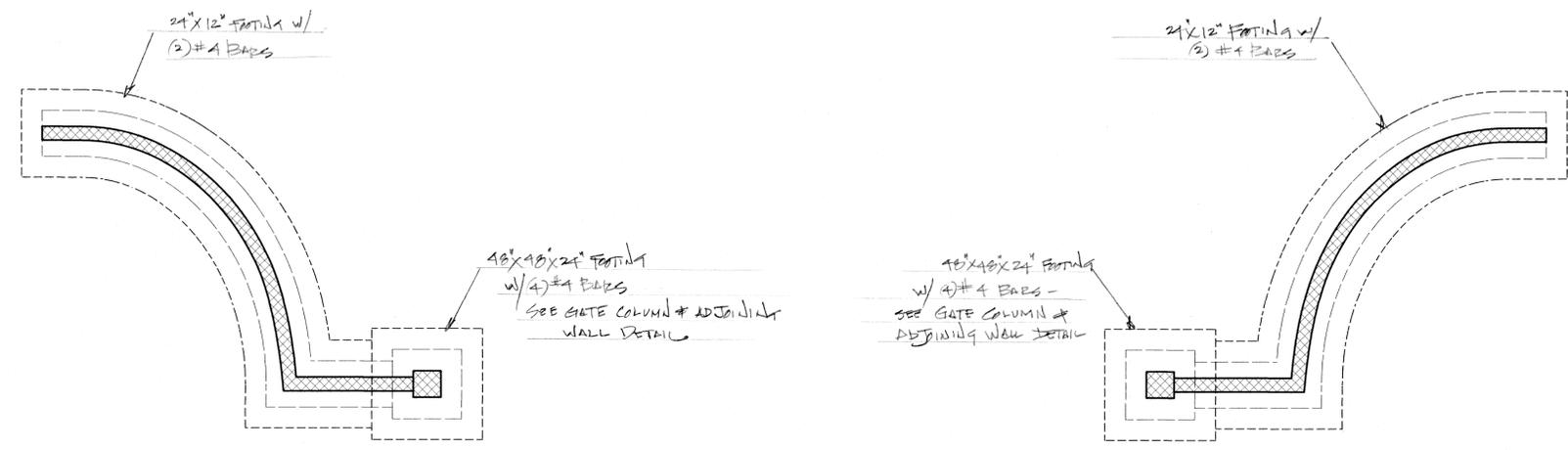
Entry Gate
Hoopstick Island
Johns Island, South Carolina



FOR PERMIT

Section and Details	Revisions:
Issue Date :: 07/16/2025	
Drawn By :: OSM	
24047	
	A-3.2

Entry Gate
Hoopstick Island
Johns Island, South Carolina



1 Structural Foundation Plan
S-1.0 1/2" = 1'-0"

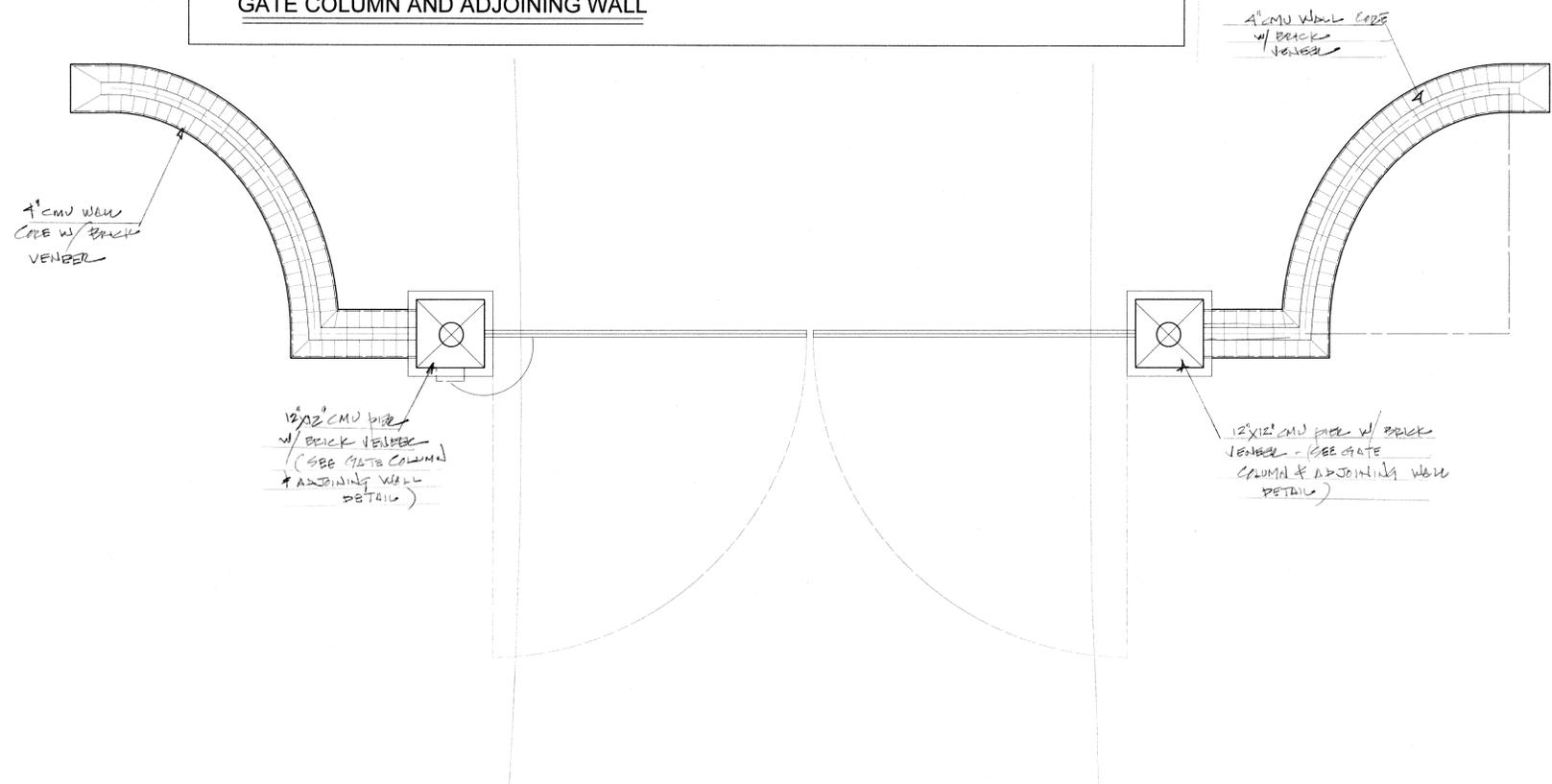
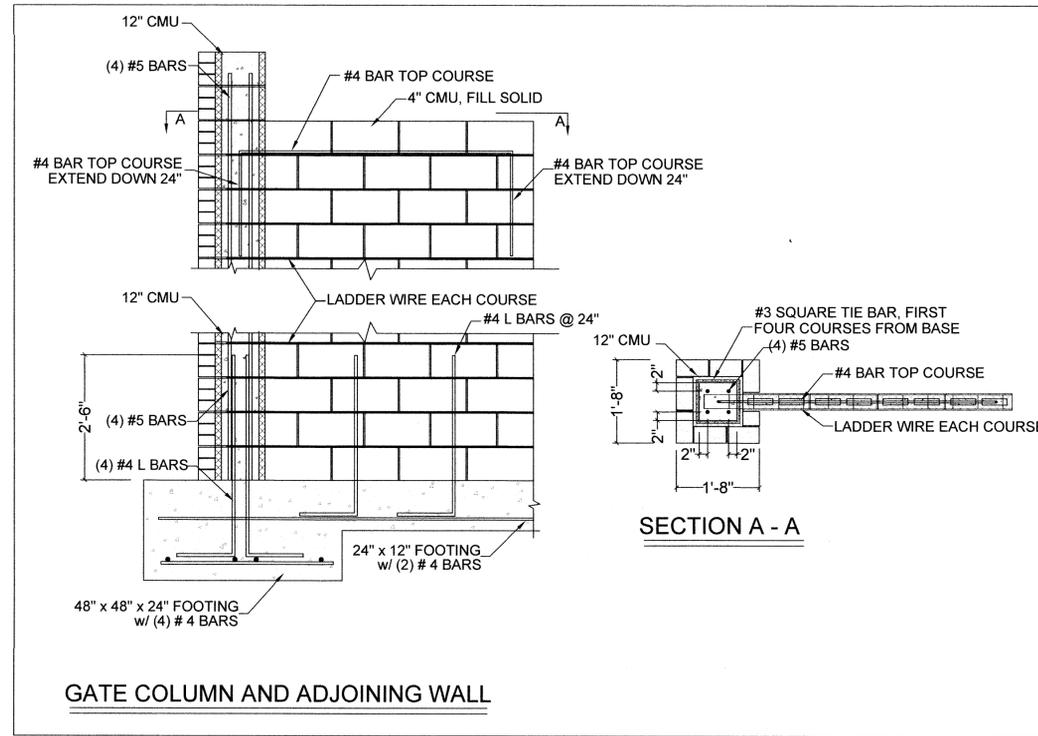


- FOUNDATION NOTES:**
- 1) CONCRETE TO BE 3000 PSI, U.N.O.
 - 2) SOIL BEARING CAPACITY ASSUMED TO BE 2000 PSF
 - 3) FOUNDATION ANCHOR BOLTS SHALL BE 1/2" DIA. SPACED @ 60" ON CENTER WITH A MINIMUM EMBEDMENT OF 7" ANCHORS SHALL BE A MINIMUM OF 12" FROM CORNERS
 - 4) PIER AND CURTAIN WALL FOUNDATION - (2) 1/2" DIA. EACH PIER WITH A MINIMUM EMBEDMENT OF 8"
 - 5) PIER AND CURTAIN WALL PERIMETER PIERS SHALL BE INTEGRALLY TIED TO THE CURTAIN WALL
 - 6) STEEL REINFORCEMENT TO BE 60 KSI
- CMU WALL NOTES:**
- 1) WALLS TO BE STANDARD 4" OR 12" CMU. FILL ALL REINFORCED CELLS WITH TYPE S GROUT
 - 2) # 4 BARS EACH CELL
 - 3) CORNER REINFORCEMENT SCHEDULE: ALL CORNERS
 - 4) CORNER REINFORCEMENT SHALL EXTEND ON BOTH SIDE OF EACH CORNER A MINIMUM OF ONE BLOCK. DOWELS INTO FOOTING AT CORNERS TO MATCH WALL VERTICAL STEEL
 - 5) PROVIDE 9 GAGE HORIZONTAL LADDER REINFORCEMENT TO TIE 4" BLOCK TO BRICK WALL EACH BLOCK COURSE. U.N.O.
 - 6) STEEL REINFORCEMENT TO BE 60 KSI

FOR PERMIT

Structural Foundation Plan	Revisions:
Issue Date :: 07/16/2025	
Drawn By ::	
24047	
	S-1.0

Entry Gate
Hoopstick Island
Johns Island, South Carolina



- FOUNDATION NOTES:**
- 1) CONCRETE TO BE 3000 PSI, U.N.O.
 - 2) SOIL BEARING CAPACITY ASSUMED TO BE 2000 PSF
 - 3) FOUNDATION ANCHOR BOLTS SHALL BE 1/2" DIA. SPACED @ 60" ON CENTER WITH A MINIMUM EMBEDMENT OF 7" ANCHORS SHALL BE A MINIMUM OF 12" FROM CORNERS
 - 4) PIER AND CURTAIN WALL FOUNDATION - (2) 1/2" DIA. EACH PIER WITH A MINIMUM EMBEDMENT OF 8"
 - 5) PIER AND CURTAIN WALL PERIMETER PIERS SHALL BE INTEGRALLY TIED TO THE CURTAIN WALL
 - 6) STEEL REINFORCEMENT TO BE 60 KSI
- CMU WALL NOTES:**
- 1) WALLS TO BE STANDARD 4" OR 12" CMU. FILL ALL REINFORCED CELLS WITH TYPE S GROUT
 - 2) CORNER REINFORCEMENT SCHEDULE: ALL CORNERS (2) #4 BARS EACH CELL
 - 3) CORNER REINFORCEMENT SHALL EXTEND ON BOTH SIDE OF EACH CORNER A MINIMUM OF ONE BLOCK. DOVELS INTO FOOTING AT CORNERS TO MATCH WALL VERTICAL STEEL
 - 4) PROVIDE 9 GAGE HORIZONTAL LADDER REINFORCEMENT TO TIE 4" BLOCK TO BRICK WALL EACH BLOCK COURSE, U.N.O.
 - 5) STEEL REINFORCEMENT TO BE 60 KSI



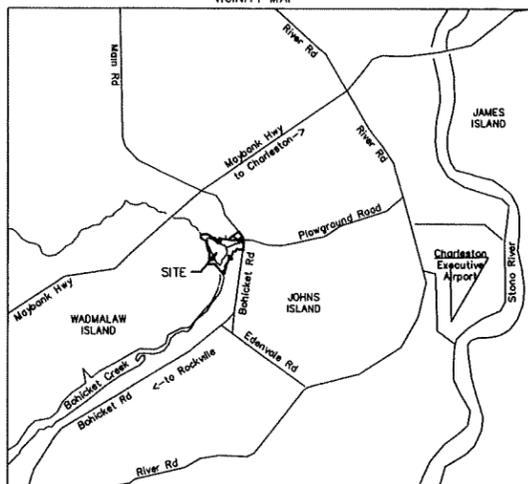
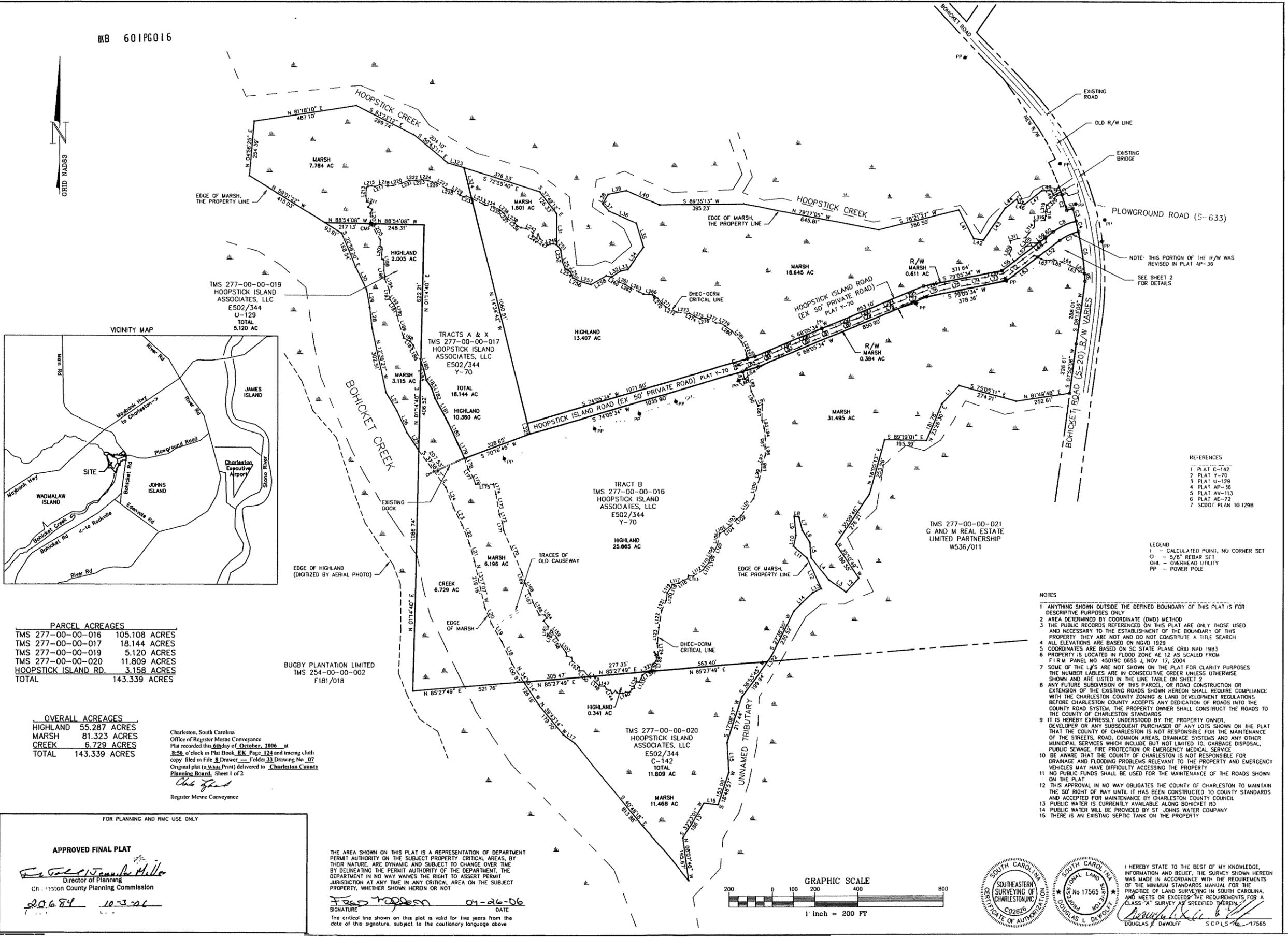
1 Structural Plan
S-1.1 1/2" = 1'-0"

FOR PERMIT

Structural Plan	Revisions:
Issue Date :: 07/16/2025	
Drawn By ::	
24047	
	S-1.1

Copyright © Southeastern Surveying of Charleston, Inc. DWG5/HOOPSTICK\06091bound.dwg 9/7/2006 12:54:43 PM EDT

MB 601P6016



PARCEL ACREAGES

TMS 277-00-00-016	105.108 ACRES
TMS 277-00-00-017	18.144 ACRES
TMS 277-00-00-019	5.120 ACRES
TMS 277-00-00-020	11.809 ACRES
HOOPSTICK ISLAND RD.	3.158 ACRES
TOTAL	143.339 ACRES

OVERALL ACREAGES

HIGHLAND	55.287 ACRES
MARSH	81.323 ACRES
CREEK	6.729 ACRES
TOTAL	143.339 ACRES

Charleston, South Carolina
 Office of Register Messrs Conveyance
 Plat recorded this 6th day of October, 2006, at
 8:56 a'clock in Plat Book EK, Page 124 and tracing (with
 copy filed in File # Drawer # Folder 33 Drawing No. 07
 Original plat (a White Print) delivered to Charleston County
 Planning Board, Sheet 1 of 2
Chris T. Miller
 Register Messrs Conveyance

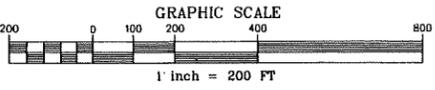
FOR PLANNING AND RMC USE ONLY

APPROVED FINAL PLAT

Chris T. Miller
 Director of Planning
 Charleston County Planning Commission
 2006 10-3-06

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT

Fred Johnson 04-26-06
 SIGNATURE DATE
 The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

Douglas L. DeWolf
 DOUGLAS L. DEWOLF S.C.P.L.S. 17565

- NOTES**
- 1 ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY
 - 2 AREA DETERMINED BY COORDINATE (DMD) METHOD
 - 3 THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH
 - 4 ALL ELEVATIONS ARE BASED ON NGVD 1929
 - 5 COORDINATES ARE BASED ON SC STATE PLANE GRID NAD 1983
 - 6 PROPERTY IS LOCATED IN FLOOD ZONE AE 12 AS SCALED FROM FIRM PANEL NO 45019C 0655 J, NOV 17, 2004
 - 7 SOME OF THE L'S ARE NOT SHOWN ON THE PLAT FOR CLARITY PURPOSES THE NUMBER LABELS ARE IN CONSECUTIVE ORDER UNLESS OTHERWISE SHOWN AND ARE LISTED IN THE LINE TABLE ON SHEET 2
 - 8 ANY FUTURE SUBDIVISION OF THIS PARCEL, OR ROAD CONSTRUCTION OR EXTENSION OF THE EXISTING ROADS SHOWN HEREON SHALL REQUIRE COMPLIANCE WITH THE CHARLESTON COUNTY ZONING & LAND DEVELOPMENT REGULATIONS BEFORE CHARLESTON COUNTY ACCEPTS ANY DEDICATION OF ROADS INTO THE COUNTY ROAD SYSTEM, THE PROPERTY OWNER SHALL CONSTRUCT THE ROADS TO THE COUNTY OF CHARLESTON STANDARDS
 - 9 IT IS HEREBY EXPRESSLY UNDERSTOOD BY THE PROPERTY OWNER, DEVELOPER OR ANY SUBSEQUENT PURCHASER OF ANY LOTS SHOWN ON THE PLAT THAT THE COUNTY OF CHARLESTON IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE STREETS, ROAD, COMMON AREAS, DRAINAGE SYSTEMS AND ANY OTHER MUNICIPAL SERVICES WHICH INCLUDE BUT NOT LIMITED TO, GARBAGE DISPOSAL, PUBLIC SEWAGE, FIRE PROTECTION OR EMERGENCY MEDICAL SERVICE
 - 10 BE AWARE THAT THE COUNTY OF CHARLESTON IS NOT RESPONSIBLE FOR DRAINAGE AND FLOODING PROBLEMS RELEVANT TO THE PROPERTY AND EMERGENCY VEHICLES MAY HAVE DIFFICULTY ACCESSING THE PROPERTY
 - 11 NO PUBLIC FUNDS SHALL BE USED FOR THE MAINTENANCE OF THE ROADS SHOWN ON THE PLAT
 - 12 THIS APPROVAL IN NO WAY OBLIGATES THE COUNTY OF CHARLESTON TO MAINTAIN THE 50' RIGHT OF WAY UNTIL IT HAS BEEN CONSTRUCTED TO COUNTY STANDARDS AND ACCEPTED FOR MAINTENANCE BY CHARLESTON COUNTY COUNCIL
 - 13 PUBLIC WATER IS CURRENTLY AVAILABLE ALONG BOHICKET RD
 - 14 PUBLIC WATER WILL BE PROVIDED BY ST. JOHNS WATER COMPANY
 - 15 THERE IS AN EXISTING SEPTIC TANK ON THE PROPERTY

LEGEND

- 1 - CALCULATED POINT, NO CORNER SET
- O - 5/8" REBAR SET
- OH - OVERHEAD UTILITY
- PP - POWER POLE

REFERENCES

- 1 PLAT C-142
- 2 PLAT Y-70
- 3 PLAT U-129
- 4 PLAT AP-36
- 5 PLAT AV-113
- 6 PLAT AE-72
- 7 SCOOT PLAN 10 129B

NO	DATE	REUSED PER APPL NO	DESCRIPTION
1	8/31/06	20684	

Southeastern Surveying of Charleston, Inc.
 147 Wappoo Creek Drive - Suite 102
 Charleston, South Carolina 29412
 843-795-9130 FAX 795-2007 www.ses-sc.com

A BOUNDARY PLAT OF
 TMS 277-00-00-016, -017, -019, & -020
 HOOPSTICK ISLAND
 OWNED BY HOOPSTICK ISLAND ASSOCIATES, LLC
 LOCATED ON JOHNS ISLAND,
 CHARLESTON COUNTY, SOUTH CAROLINA

DATE	JULY 10, 2006
DRAWN	DLD
CHECK	DLD
JOB	06091
DWG	06091
SHEET	1 OF 2